

Planning & Building Regulations Made Easy



Urban Development Authority
Sri Lanka

Planning & Building Regulations Made Easy

**Illustrated on the basis of the Gazette of
Democratic Socialist Republic of Sri Lanka
Extraordinary No 392/9 of 10th March 1986**



**Urban Development Authority
of Sri Lanka
2005**

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Preface

This book illustrates the Planning and Building Regulations of the Urban Development Authority published in the Gazette of the Democratic Socialist Republic of Sri Lanka, Extraordinary No. 392/9 under the section 8 of Urban Development Authority Law No 41 of 1978.

These regulations help to create a conducive environment and enhance the quality of life of the people in terms of habitable space. Therefore, it is important to the citizens to get familiar with these planning and building regulations.

In order to encourage the general public to follow up these regulations without any difficulty, this book attempts to illustrate the Planning and Building Regulations in graphical and simplified form. The contents of this book is organized in a sequential manner according to the planning process. The colours and different font sizes are used to emphasize important items with less number of words. The problematic areas are well interpreted through examples. At the bottom of each page the relevant illustrated regulation is mentioned in the legal form as it appears in the gazette for easy reference.

This book will be an important document to the Students as well as Developers, Town Planners, Architects, Engineers and all other professionals who are engaged in the field of development.

This is not a legal document and the regulations which could be interpreted in graphical form are only included in this book.

Forward

Viewed from the point of the statutory mission of the UDA, promotion of economic, social and physical development in urban areas of the country is inseparable from integrated planning though the latter takes the precedence in the process. The comprehension of this fact by the general public does not appear to have been successful when the built forms of our cities, the ultimate product of the process is displayed in reality. The failure is largely attributed to the total disregard of guidelines for physical development and the often-cited excuse is ignorance.

Ignorance is not an excuse to escape punishment for violating law. In this regard violation of the regulations framed and enforced by statutory bodies such as the UDA, is no exception. However, it is very rarely state organizations take steps to educate the general public what the regulations or by-laws mean. UDA Planning and Building Regulations in particular, is a matter close to heart of every citizen of this country as they either impose controls on or increase the potential of the development of both private and public properties. Therefore, this Hand book with illustrations to educate the general public on regulatory standards of livable space is indeed a long felt need.

The launching pad for publication of this Hand book was the public awareness multimedia presentation of UDA regulatory standards of livable space, which was conscientiously produced by Plnr. Nilanthi Ratnayake, Deputy Director (Planning) and Plnr. Srimali Mellawa (Town Planner) of the UDA. The content of this book is presented according to the sequence of planning process for physical development of urban areas. What is more important is the interpretation of problems, which the public generally encounters, through well illustrated examples. Hence, this Hand book will be of equal importance to students and professionals of the disciplines of Town Planning, Architecture and Engineering and Developers who are engaged in development of urban environment, as well.

Eng. Vidyajyothi Gemunu Silva

Chairman,

Urban Development Authority,

Sri Lanka

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Chapter 1

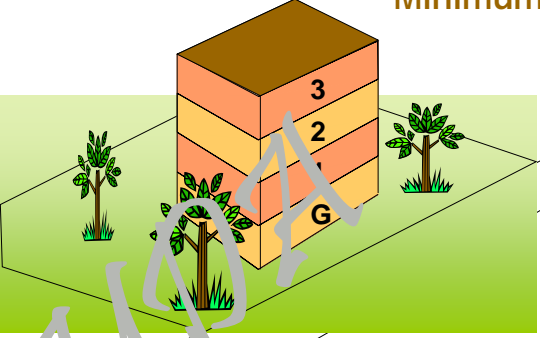
Land Sub Division and Amalgamation

- **Plot Size**
- **Road Frontage**
- **Open Space**

Plot Size

Public Assembly and Public Buildings

Regulation 17 (1) & Form C of Schedule III



Minimum Plot Size = 300 sq.m.
(12p)

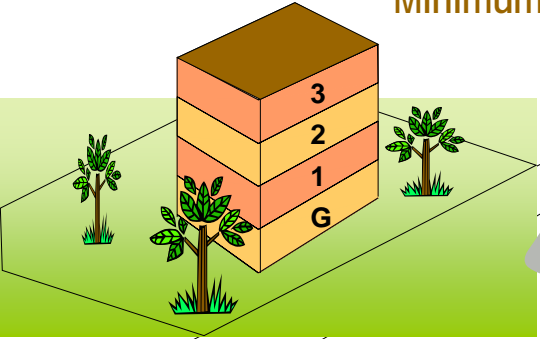
for

G
G+1
G+2
G+3

Plot Size

Buildings other than Public Assembly and Public Buildings

Regulation 17 (1) & Form C of Schedule III



Minimum Plot Size = 150 sq.m.
(6p)

for

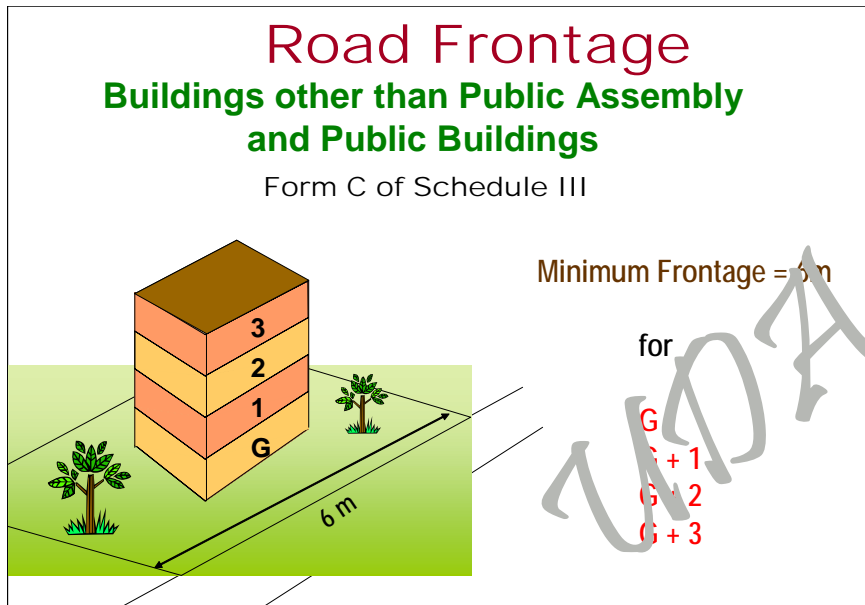
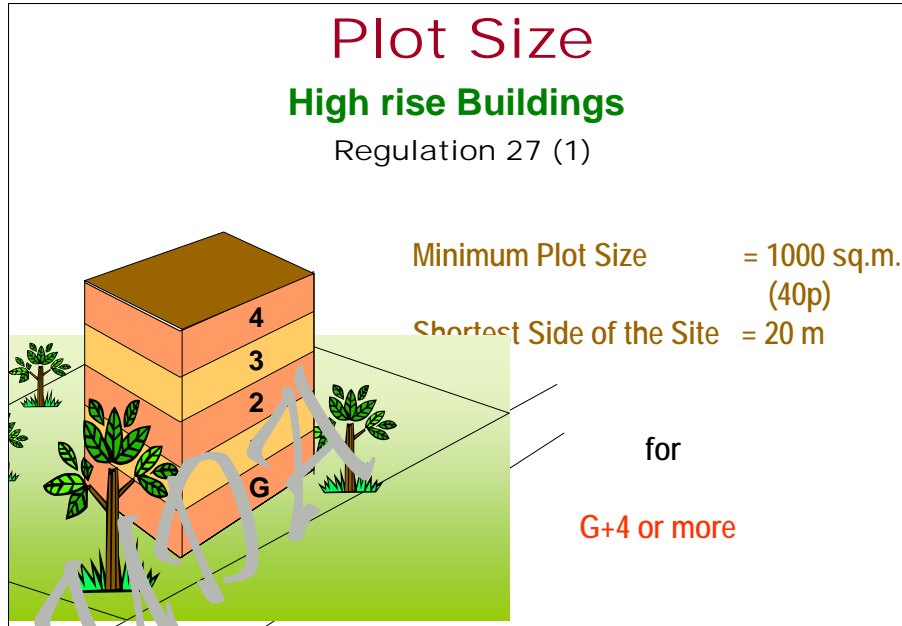
G
G+1
G+2
G+3

Regulation 17 (1)

The minimum extent and the minimum width of lots for different classes of building, not being high rise buildings, should be in conformity with the specification set out in Form "C" of Schedule III unless the Authority has stipulated a higher or lower minimum extent and /or higher or lower width of lots in a Development Plan already approved for the area or proposed for the area.

Form C of Schedule III – Specification as to Lots

Character of Building	Minimum Site Area (Sq. m)	Minimum Width of Site (m)
All building except those included below	150	6
Public Assembly Buildings and Public Buildings	300	12



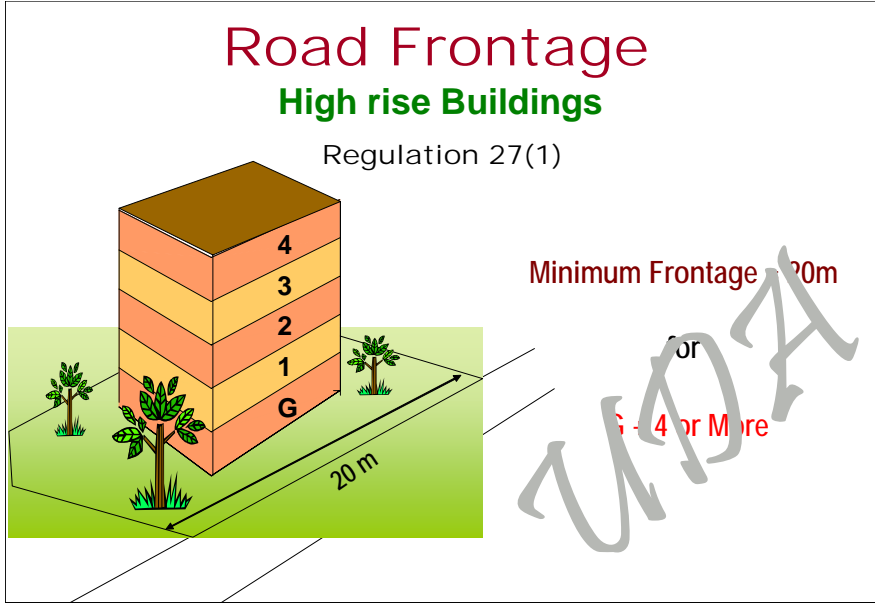
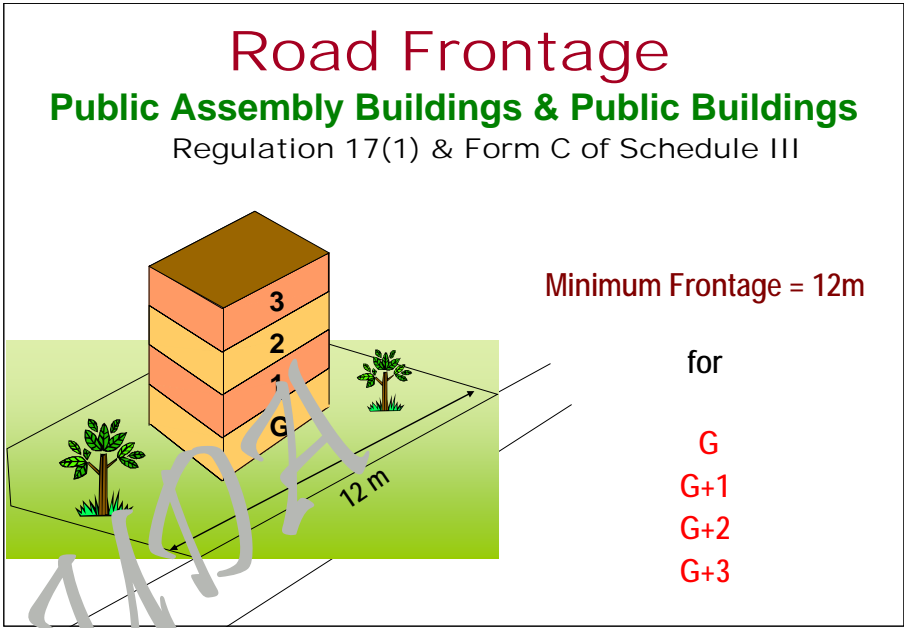
Regulation 27(1)

No plan of the site shall be approved for the construction of a high rise building unless:-

- (1) the site does not exceed 1000 square metres in extent and has a dimension of at least 20 metres along the shortest side.

Form C of Schedule III – Specification as to Lots

Character of Building	Minimum Site Area (Sq. m)	Minimum width of site (m)
All building except those included below	150	6
Public Assembly Buildings and Public Buildings	300	12



Regulation 17 (1)
 The minimum extent and the minimum width of lots for different classes of building, not being high rise buildings, should be in conformity with the specification set out in Form "C" of Schedule III unless the Authority has stipulated a higher or lower minimum extent and /or higher or lower width of lots in a Development Plan already approved for the area or proposed for the area.

Form C of Schedule III – Specification as to Lots

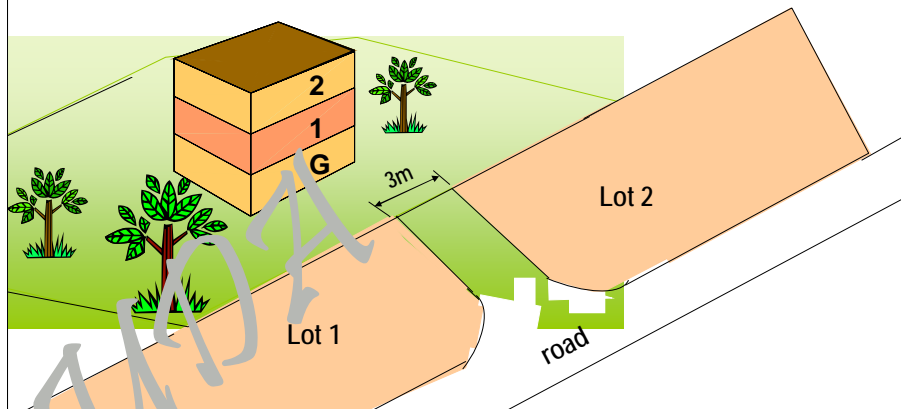
Character of Building	Minimum Site Area (Sq. m)	Minimum width of site (m)
All building except those included below	150	6
Public Assembly Buildings and Public Buildings	300	12

Regulation 27(1)
 No plan of the site shall be approved for the construction of a high rise building unless:-
 (2) the site does not exceed 1000 square metres in extent and has a dimension of at least 20 metres along the shortest side.

Road Frontage

Dead End

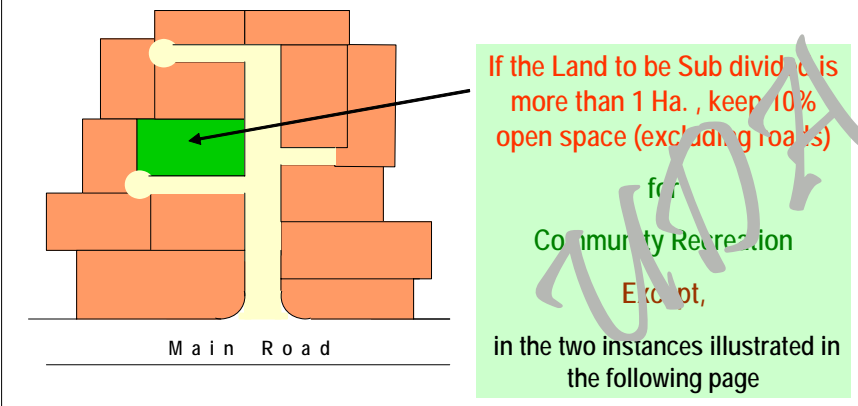
Regulation 17(2)



Open Space

Residential

Regulation 22(1)



Regulation 17 (2)

Every lot or site which abuts on to the end of dead end street may have a frontage less than the width in Form "C" of Schedule III, but have a frontage which is not less than 3.0 metres wide perpendicular to the line of the street.

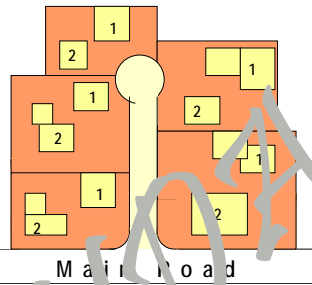
Regulation 22 (1)

Where the parcel of land or site to be subdivided exceeds 1.0 hectare, an area of not less than ten percent of the land or site, excluding streets shall be reserved for community and recreation uses in appropriate locations.

Open Space

Residential

Regulation 22(1)(b) (1996 Amendment)



If,

• Minimum Plot Size is 1012 sq.m.
(40P)

&

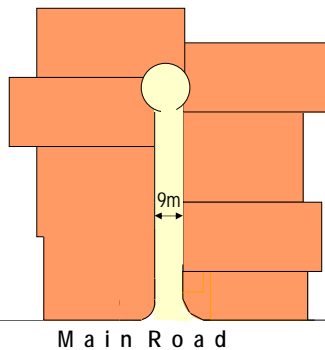
• Development is limited to 2 units
per lot

10% open space is not required,
until further sub division

Open Space

Commercial or Industrial

Regulation 22 (1)(a) 1996 Amendment



If,

Plot size is 2024 sq.m. (80P)
or more,

&

Access road is 9m or more

10% open space is not required
until further sub division

Regulation 22 (1)(b) 1996 Amendment

In Residential land sub-divisions, if the minimum land parcel of the sub – division is not less than 1012sq.m. (40 perches) and the development is limited to two housing units per lot the land may be sub-divided without reserving 10 percent of the land for open space uses but subject to the condition that in the event of further sub division or construction of more than two housing units per lot, the developer should deposit the market value of 10 percent of the land so sub divided or developed at the relevant local authority.

Regulation 22 (1)(a) 1996 Amendment

In commercial and industrial land sub-divisions, if the minimum land parcel of the sub – division is not than 2024 sq.m. (80 perches) and all the road widths are not less than 9 meters the land may be sub-divided without reserving 10 percent of the land for open space uses but subject to the condition that in the event of further sub division of any of the parcels, the developer should either,

- (i) Reserve the 10 percent of the land so sub divided; or
- (ii) Deposit the market value of 10percent of the land so sub divided at the relevant local authority

WDA

Chapter 2

Accessibility

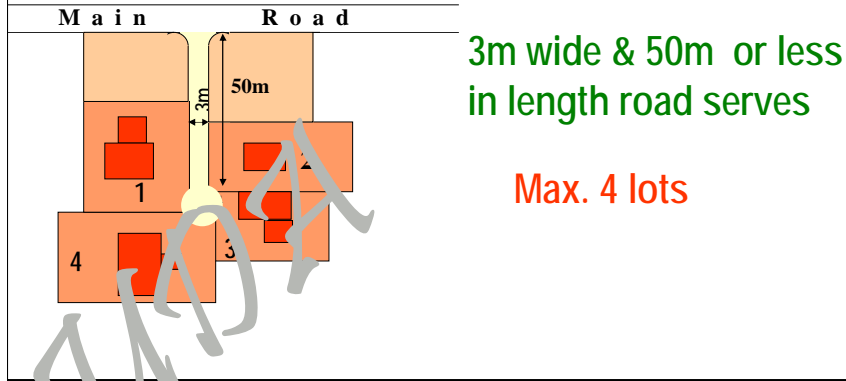
- **Access**
- **Turning Circle**
- **Splaying of Street Corners**

WDA

Access

Residential Units

Regulation 16 (2) (a) & Form A of Schedule III



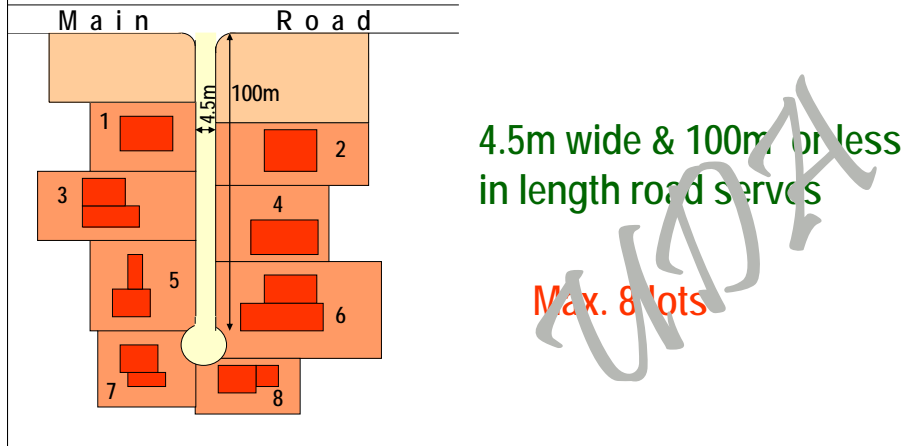
3m wide & 50m or less
in length road serves

Max. 4 lots

Access

Residential Units

Regulation 16(2)(a) & Form A of Schedule III



4.5m wide & 100m or less
in length road serves

Max. 8 lots

Regulation 16 (2)(a)

Every street meant to serve dwelling units shall be in conformity with the specifications set out in Form A of Schedule III.

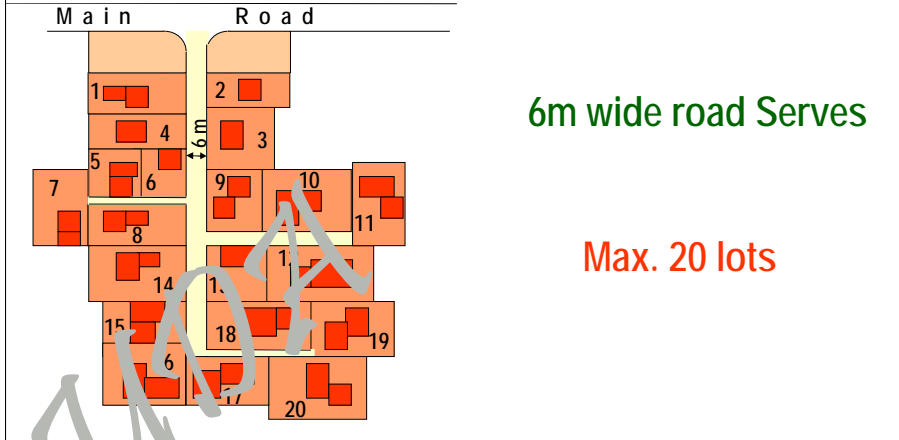
Form A of Schedule III - Access to Residential Units

Number of Dwelling Units Served	Minimum Width (m)	Maximum Length (m)
Under 4 dwelling unit	3.0	50
More than 4 but not more than 8 dwelling units	4.5	100
More than 8 but not more than 20 dwelling units	6.0	-
More than 20 dwelling units	9.0	-

Access

Residential Units

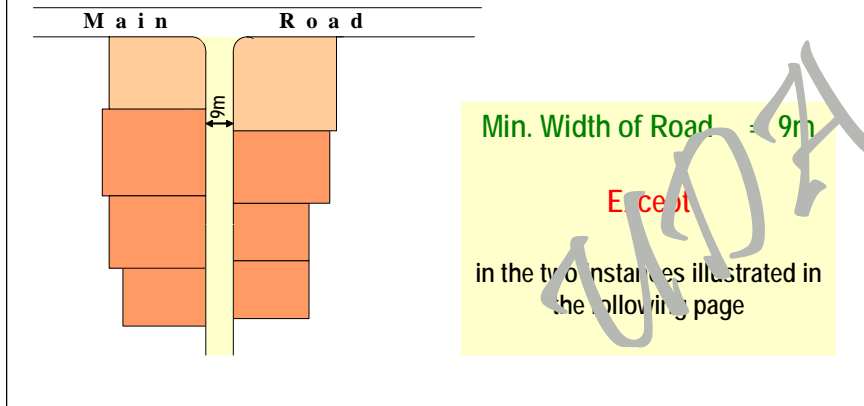
Regulation 16 (2)(a) & Form A of Schedule III



Access

Non Residential Units

Regulation 16 (1)



Regulation 16 (2)(a)

Every street meant to serve dwelling units shall be in conformity with the specifications set out in Form A of Schedule III.

Form A of Schedule III - Access to Residential Units

Number of Dwelling Units Served	Minimum Width (m)	Maximum Length (m)
Under 4 dwelling unit	3.0	50
More than 4 but not more than 8 dwelling units	4.5	100
More than 8 but not more than 20 dwelling units	6.0	-
More than 20 dwelling units	9.0	-

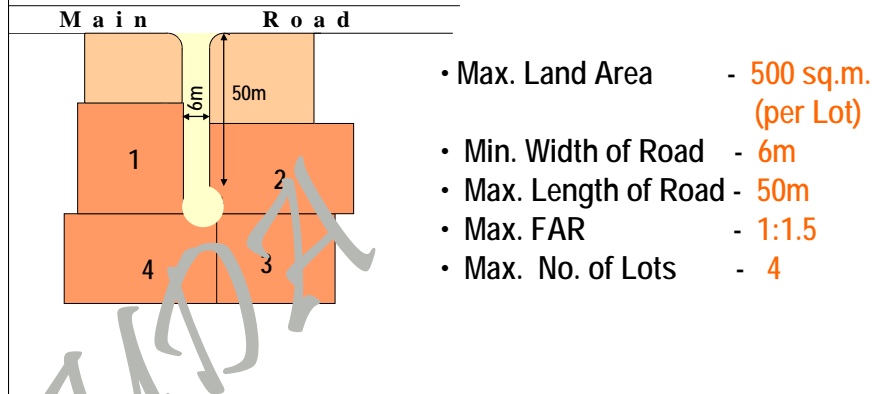
Regulation 16 (1)

No site or lot abutting a street less than nine metres in width shall be used for non-residential use or construction of any building for such use except as provided under regulation 16 (2) (b).

Access

Non Residential Units (Special Provision)

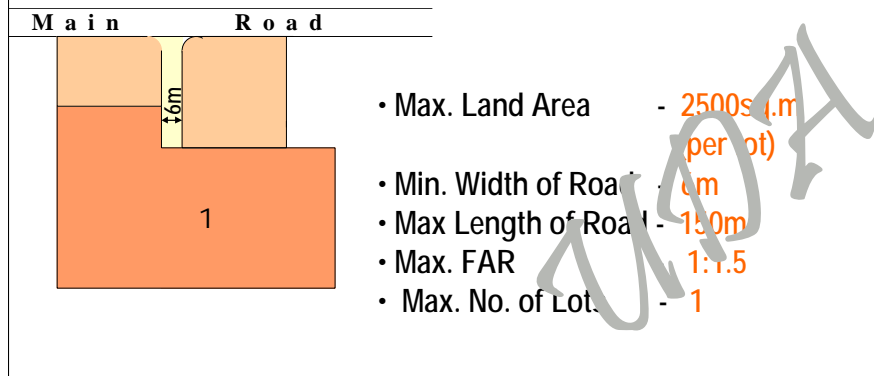
Regulation 16 (2) (b) & Form B of Schedule III



Access

Non Residential Units (Special Provision)

Regulation 16 (2) (b) & Form B of Schedule III



Regulation 16 (2) (b)

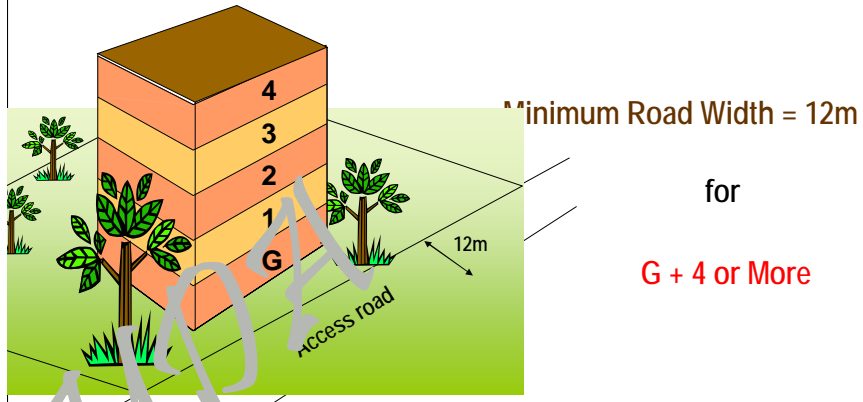
A street meant to serve one or more lots for construction of any building for non-residential use may be permitted with access less than 9 metres in width and shall be in conformity with the specification set out in Form B of Schedule III.

Form B of Schedule III - Access to Non Residential Buildings

Maximum Extent of Land Served (sq. m.)	Maximum FAR on each site	Minimum Width of Street (m)	Maximum Length of Street (m)
500 Where the street serves more than 1 lot or site but not more than four lots	1.5	6.0	50
2500 Where the street serves only one lot or site	1.5	6.0	150

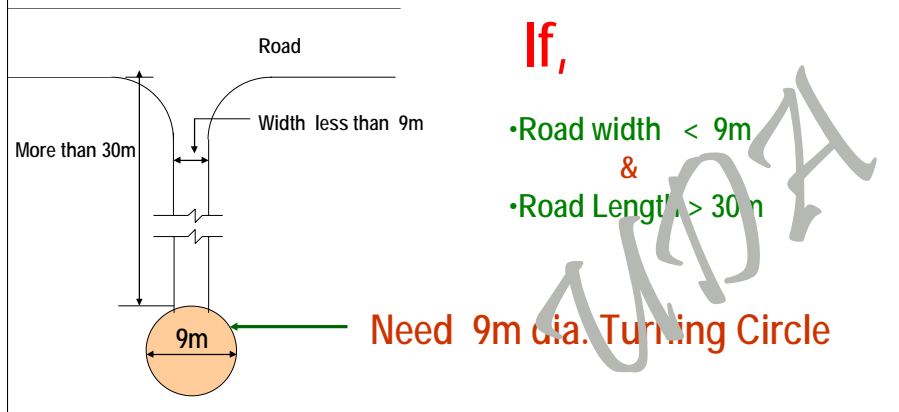
Access High rise Buildings

Regulation 27 (2)



Turning Circle

Regulation 16 (4)



Regulation 27 (2)

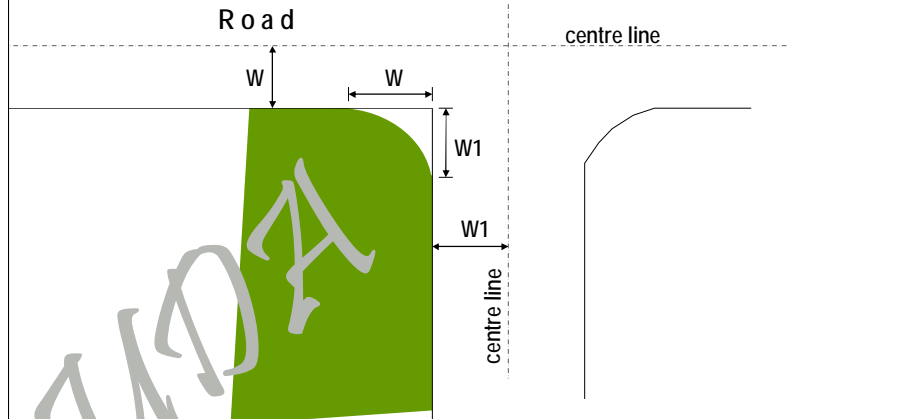
No plan of the site shall be approved for the construction of a high rise building unless the site abuts on a street which is not less than 12 metres in width.

Regulation 16 (4)

Every street which is less than 9 metres in width and exceeds thirty meters in length, shall be provided with a turning circle of not less than nine (9.0) meters in diameter at the dead end.

Splaying of Street Corners

Regulation 32



Regulation 32

The Authority may require the corner of any building including boundary walls or fences to be erected at the corner of two streets be rounded off or splayed to such extent and height as may be necessary in the interest of the safety of the users of the streets.

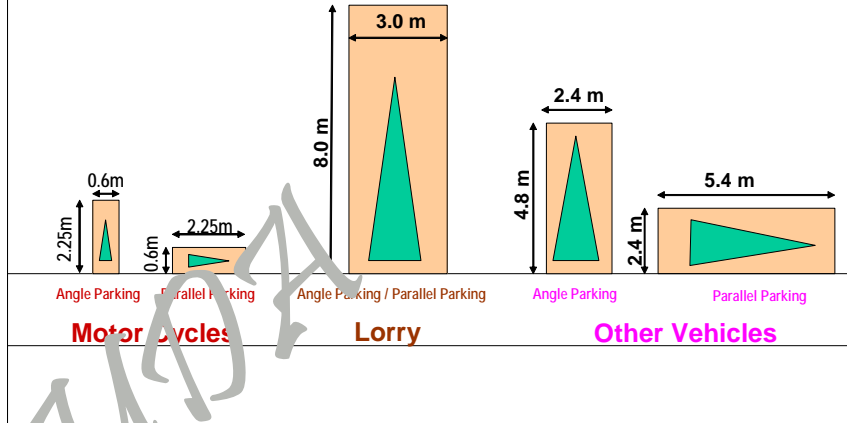
Chapter 3

Parking & Traffic Control

- **Dimensions of Stalls**
- **Width of Aisles**
- **Access to Parking**
- **Gradient for Ramps**

Dimensions of Stalls

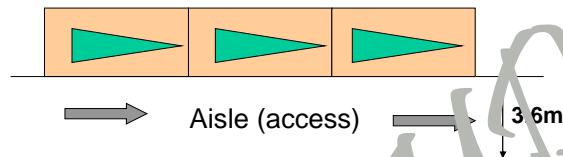
Regulation 31 (2) & Section 3(b) (7) of Schedule III of 1994 Amendment



Width of Aisles

(Parking angle 0°)

Regulation 31 (3) & Form F of Schedule III



Regulation 31 (2)

The dimensions of car parking stalls shall be:

- Minimum stall width – 2.4 metres
- Minimum stall length – 4.8 metres
- Minimum stall length for parallel parking – 5.4 metres

Regulation 31 (3)

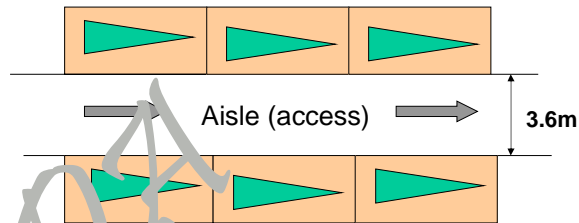
The minimum width of aisles shall conform to the requirements specified in Form F of Schedule III.

Form F of Schedule III - Width of Aisles of Parking Stalls (Relevant Part only)

Parking Angle	One Way Traffic		Two Way Traffic
	Bays on one Side (m)	Bays on Two Sides (m)	(m)
Parallel	3.6	3.6	6.0

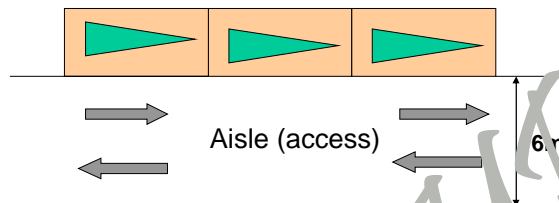
Width of Aisles (Parking angle 0°)

Regulation 31 (3) & Form F of Schedule III



Width of Aisles (Parking angle 0°)

Regulation 31 (3) & Form F of Schedule III



Regulation 31 (3)

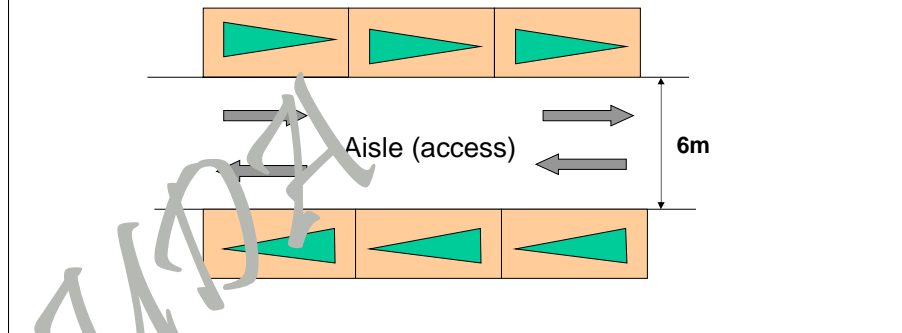
The minimum width of aisles shall conform to the requirements specified in Form F of Schedule III.

Form F of Schedule III - Width of Aisles of Parking Stalls

Parking Angle	One Way Traffic		Two Way Traffic (m)
	Bays on one Side (m)	Bays on Two Sides (m)	
Parallel	3.6	3.6	6.0
30 deg.	3.6	4.2	6.3
45 deg.	4.2	4.8	6.3
60 deg.	4.8	4.8	6.6
90 deg.	6.0	6.3	7.2

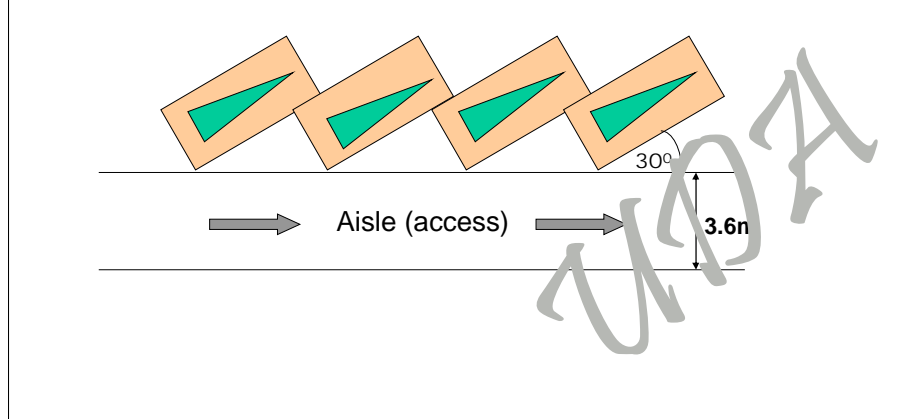
Width of Aisles (Parking angle 0°)

Regulation 31 (3) & Form F of Schedule III



Width of Aisles (Parking angle 30°)

Regulation 31 (3) & Form F of Schedule III



Regulation 31 (3)

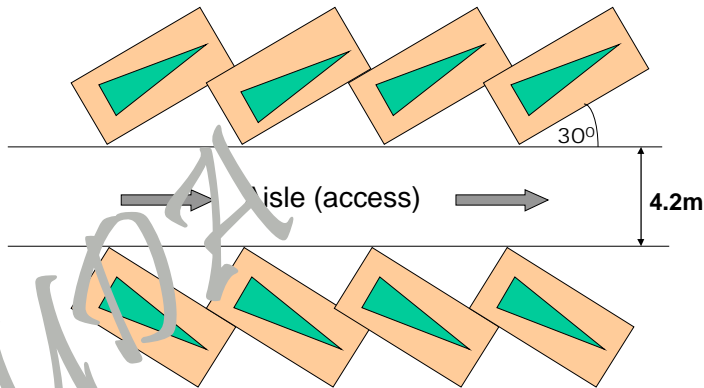
The minimum width of aisles shall conform to the requirements specified in Form F of Schedule III.

Form F of Schedule III - Width of Aisles of Parking Stalls

Parking Angle	One Way Traffic		Two Way Traffic (m)
	Bays on one Side (m)	Bays on Two Sides (m)	
Parallel	3.6	3.6	6.0
30 deg.	3.6	4.2	6.3
45 deg.	4.2	4.8	6.3
60 deg.	4.8	4.8	6.6
90 deg.	6.0	6.3	7.2

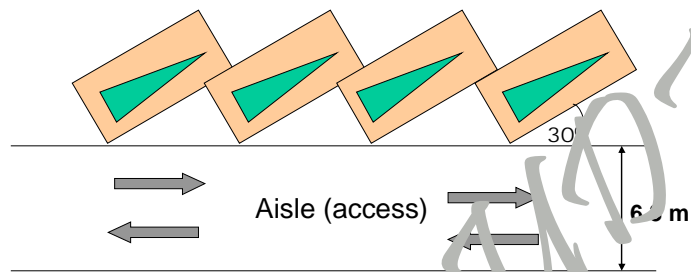
Width of Aisles (Parking angle 30°)

Regulation 31 (3) & Form F of Schedule III



Width of Aisles (Parking angle 30°)

Regulation 31 (3) & Form F of Schedule III



Regulation 31 (3)

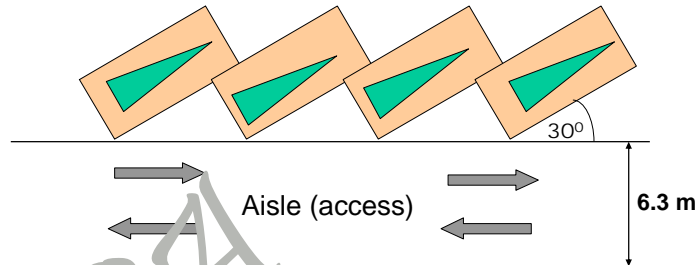
The minimum width of aisles shall conform to the requirements specified in Form F of Schedule III.

Form F of Schedule III - Width of Aisles of Parking Stalls

Parking Angle	One Way Traffic		Two Way Traffic (m)
	Bays on one Side (m)	Bays on Two Sides (m)	
Parallel	3.6	3.6	6.0
30 deg.	3.6	4.2	6.3
45 deg.	4.2	4.8	6.3
60 deg.	4.8	4.8	6.6
90 deg.	6.0	6.3	7.2

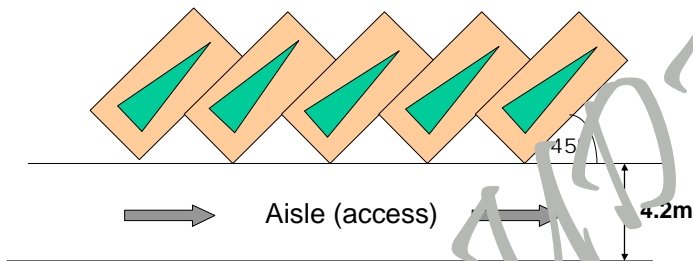
Width of Aisles (Parking angle 30°)

Regulation 31 (3) & Form F of Schedule III



Width of Aisles (Parking angle 45°)

Regulation 31 (3) & Form F of Schedule III



Regulation 31 (3)

The minimum width of aisles shall conform to the requirements specified in Form F of Schedule III.

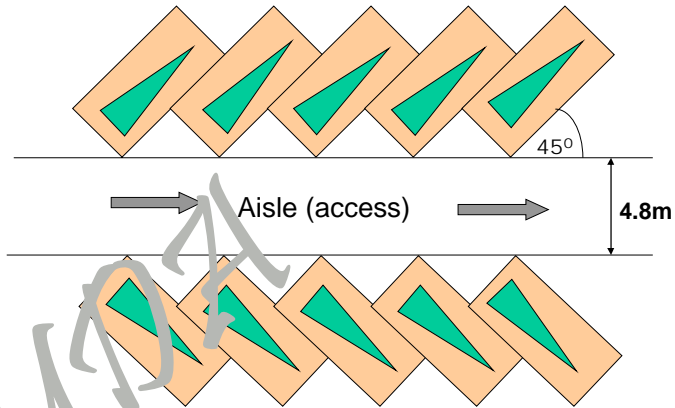
Form F of Schedule III - Width of Aisles of Parking Stalls

Parking Angle	One Way Traffic		Two Way Traffic
	Bays on one Side (m)	Bays on Two Sides (m)	(m)
Parallel	3.6	3.6	6.0
30 deg.	3.6	4.2	6.3
45 deg.	4.2	4.8	6.3
60 deg.	4.8	4.8	6.6
90 deg.	6.0	6.3	7.2

Width of Aisles

(Parking angle 45°)

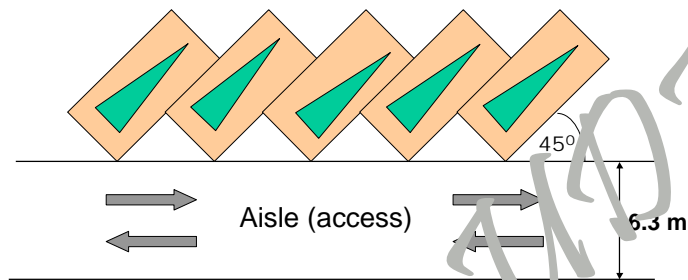
Regulation 31 (3) & Form F of Schedule III



Width of Aisles

(Parking angle 45°)

Regulation 31 (3) & Form F of Schedule III



Regulation 31 (3)

The minimum width of aisles shall conform to the requirements specified in Form F of Schedule III.

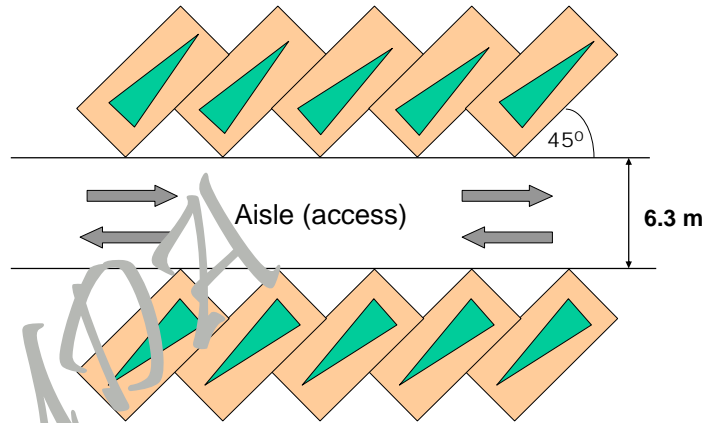
Form F of Schedule III - Width of Aisles of Parking Stalls

Parking Angle	One Way Traffic		Two Way Traffic
	Bays on one Side (m)	Bays on Two Sides (m)	(m)
Parallel	3.6	3.6	6.0
30 deg.	3.6	4.2	6.3
45 deg.	4.2	4.8	6.3
60 deg.	4.8	4.8	6.6
90 deg.	6.0	6.3	7.2

Width of Aisles

(Parking angle 45°)

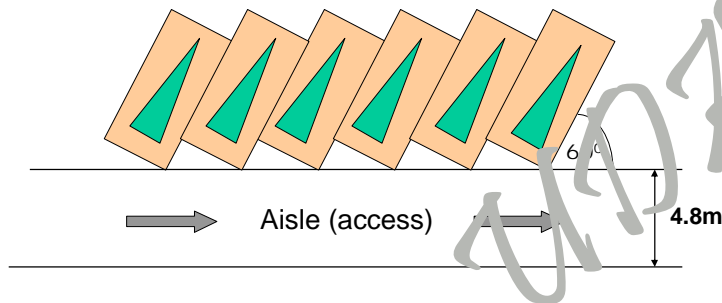
Regulation 31 (3) & Form F of Schedule III



Width of Aisles

(Parking angle 60°)

Regulation 31 (3) & Form F of Schedule III



Regulation 31 (3)

The minimum width of aisles shall conform to the requirements specified in Form F of Schedule III.

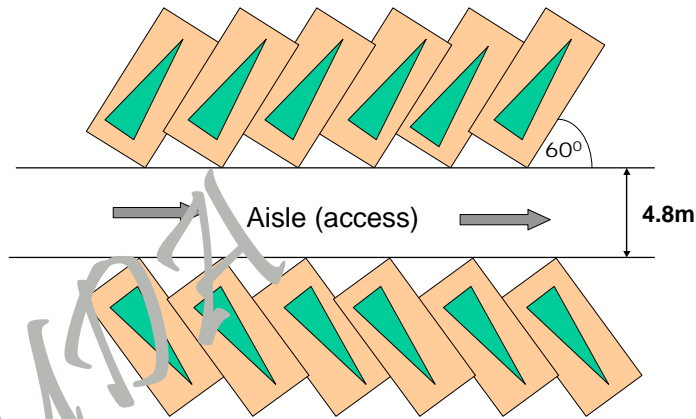
Form F of Schedule III - Width of Aisles of Parking Stalls

Parking Angle	One Way Traffic		Two Way Traffic (m)
	Bays on one Side (m)	Bays on Two Sides (m)	
Parallel	3.6	3.6	6.0
30 deg.	3.6	4.2	6.3
45 deg.	4.2	4.8	6.3
60 deg.	4.8	4.8	6.6
90 deg.	6.0	6.3	7.2

Width of Aisles

(Parking angle 60°)

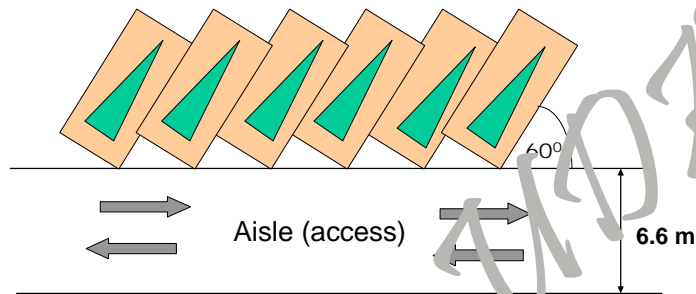
Regulation 31 (3) & Form F of Schedule III



Width of Aisles

(Parking angle 60°)

Regulation 31 (3) & Form F of Schedule III



Regulation 31 (3)

The minimum width of aisles shall conform to the requirements specified in Form F of Schedule III.

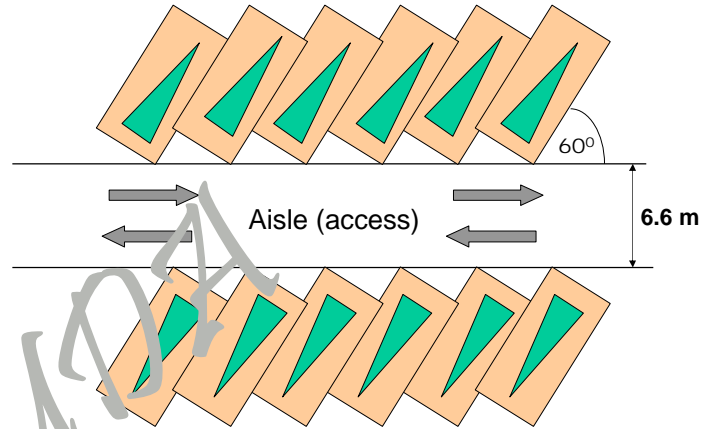
Form F of Schedule III - Width of Aisles of Parking Stalls

Parking Angle	One Way Traffic		Two Way Traffic
	Bays on one Side (m)	Bays on Two Sides (m)	(m)
Parallel	3.6	3.6	6.0
30 deg.	3.6	4.2	6.3
45 deg.	4.2	4.8	6.3
60 deg.	4.8	4.8	6.6
90 deg.	6.0	6.3	7.2

Width of Aisles

(Parking angle 60°)

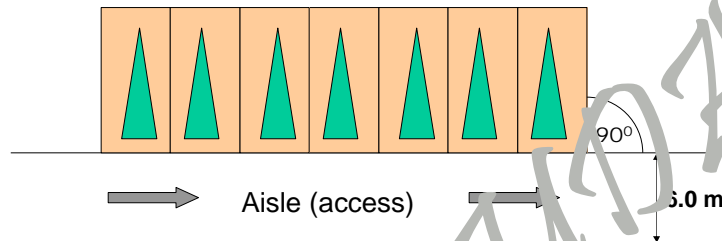
Regulation 31 (3) & Form F of Schedule III



Width of Aisles

(Parking angle 90°)

Regulation 31 (3) & Form F of Schedule III



Regulation 31 (3)

The minimum width of aisles shall conform to the requirements specified in Form F of Schedule III.

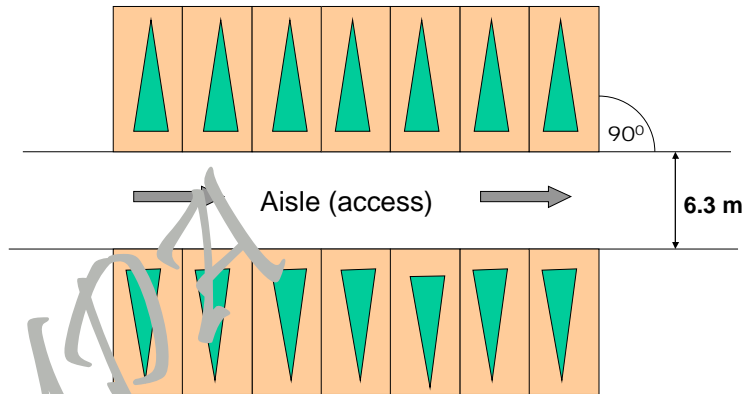
Form F of Schedule III - Width of Aisles of Parking Stalls

Parking Angle	One Way Traffic		Two Way Traffic (m)
	Bays on one Side (m)	Bays on Two Sides (m)	
Parallel	3.6	3.6	6.0
30 deg.	3.6	4.2	6.3
45 deg.	4.2	4.8	6.3
60 deg.	4.8	4.8	6.6
90 deg.	6.0	6.3	7.2

Width of Aisles

(Parking angle 90°)

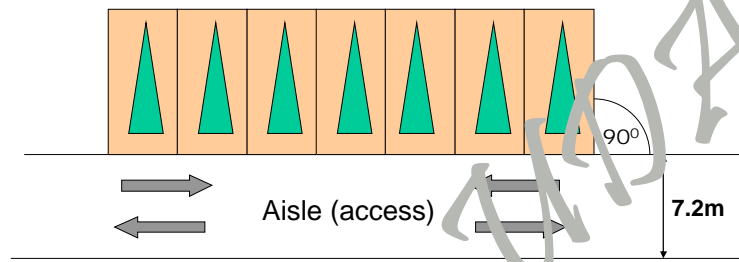
Regulation 31 (3) & Form F of Schedule III



Width of Aisles

(Parking angle 90°)

Regulation 31 (3) & Form F of Schedule III



Regulation 31 (3)

The minimum width of aisles shall conform to the requirements specified in Form F of Schedule III.

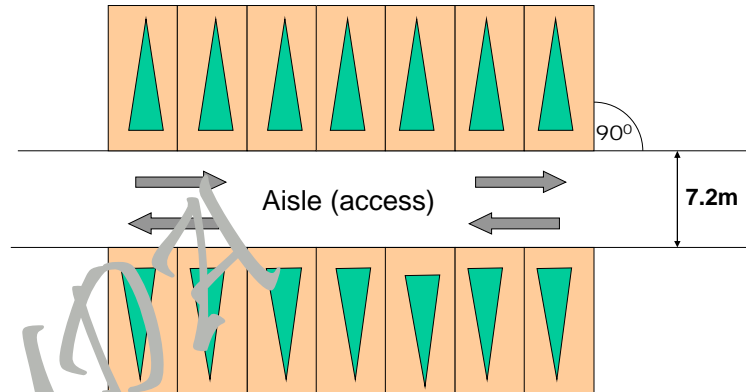
Form F of Schedule III - Width of Aisles of Parking Stalls

Parking Angle	One Way Traffic		Two Way Traffic
	Bays on one Side (m)	Bays on Two Sides (m)	(m)
Parallel	3.6	3.6	6.0
30 deg.	3.6	4.2	6.3
45 deg.	4.2	4.8	6.3
60 deg.	4.8	4.8	6.6
90 deg.	6.0	6.3	7.2

Width of Aisles

(Parking angle 90°)

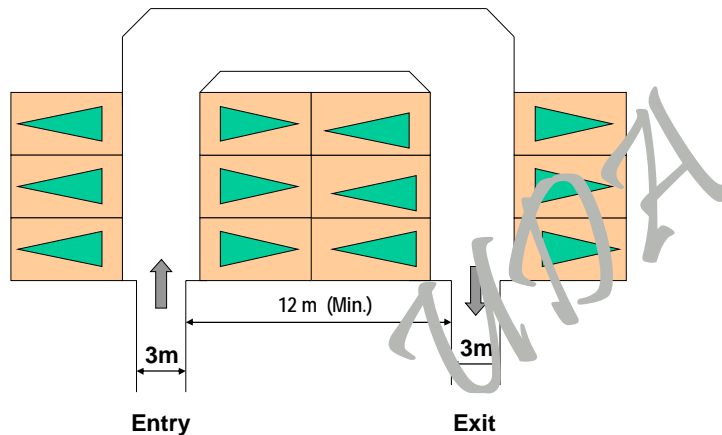
Regulation 31 (3) & Form F of Schedule III



Access to Parking

Separate Entry & Exit

Regulation 31 (4) & Section 2(9) (a) of 1994 Amendment



Regulation 31 (3)

The minimum width of aisles shall conform to the requirements specified in Form F of Schedule III.

Form F of Schedule III - Width of Aisles of Parking Stalls

Parking Angle	One Way Traffic		Two Way Traffic (m)
	Bays on one Side (m)	Bays on Two Sides (m)	
90 deg.	6.0	6.3	7.2

Regulation 31 (4)

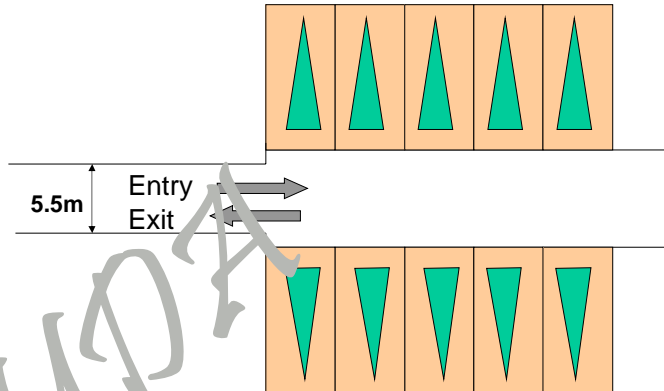
The width of access to car parking area shall not be less than 3 meters clear of footways and other obstructions if entry and exit are separately provided and 5.5 meters if entry and exit are provided together.

Section 2(9)(a) of 1994 Amendment

Only one entrance and exit point for sites with a road frontage width less than 12 m is to be permitted; provided that the Authority may consider permitting not more than two entrance and exit points for sites if the road frontage width exceeds 12 m.

Access to Parking Entry & Exit Together

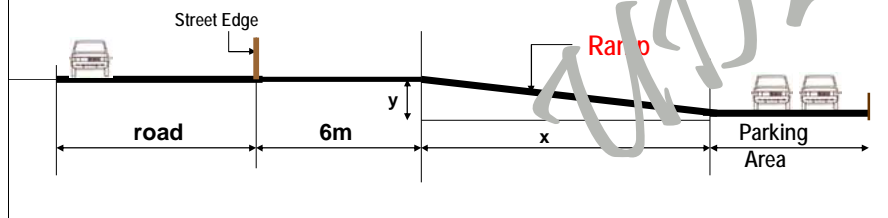
Regulation 31 (4)



Gradient for Ramps

Regulation 31(5) & 31(6)

- Max. Gradient for Ramp (y:x) = 1:8
- Ramp should start at a distance of 6m from the street edge



Regulation 31 (4)

The width of access to car parking area shall not be less than 3 meters clear of footways and other obstructions if entry and exit are separately provided and 5.5 meters if entry and exit are provided together.

Regulation 31 (5)

The maximum gradient of ramps shall not be steeper than 1 in 8.

Regulation 31 (6)

Every such ramp shall start only beyond a distance of 6.0 m from the street edge.

Chapter 4

Plot Usage

- **Plot Coverage**
- **Floor Area Ratio**

Plot Coverage

Regulation 25 & Form E of Schedule III

$$\text{Plot Coverage} = \frac{\text{Ground Floor Plinth Area}}{\text{Land Area}} \times 100$$

- Dwelling units, Hotels, Hostels, Guest Houses & Public Assembly Buildings - 66 2/3%
- Offices, Shops, Other Commercial & Industrial Buildings - 80%

Floor Area Ratio

Regulation 15(1)

$$\text{Floor Area Ratio (FAR)} = \frac{\text{Gross Floor Area of all Buildings}}{\text{Land Area}}$$

Max. Floor Area Ratio on Any Site = 1 : 2.75

In special cases FAR may be permitted to exceed up to 30%, subject to Service Charge considering the infrastructure availability and Land Values of the Area

Regulations 25

The maximum, plot coverage permissible on any site for any of the purposes specified in Form E of Schedule III shall be as in conformity with the requirements specified therein.

Form E of Schedule III - Maximum Lot Coverage

Character of Building	Maximum Lot Coverage	Minimum Open Space at the ground level
Dwelling units, Hotels, Hostels, Guest Houses and Public Assembly Buildings	66 2/3 %	33 1/3 %
Offices, Shops, Other Commercial and Industrial Buildings	80 %	20 %

Regulations 15(1) (Relevant part only)

The provision of any development plan approved for any development area or the provisions of any development plan under consideration shall contain the maximum floor area ratio permissible on any site Provided that where no such plans are available, the max. Floor Area Ratio permissible shall be determined, taking into account the characteristics of the buildings intended for the area, the location of the site and the capacity of infrastructure systems, provided that the floor area ratio permissible on any site shall not exceed 2.75.

Chapter 5

Building Category and Heights

- **Building Category**
- **Building Heights**

Building Category

Regulation 8(1), 8(2) & 8(3)

Building Category

No. of Floors

Category B & C

(Low rise)

G

G + 1

G + 2

G + 3

or Less than 15 m

Category A

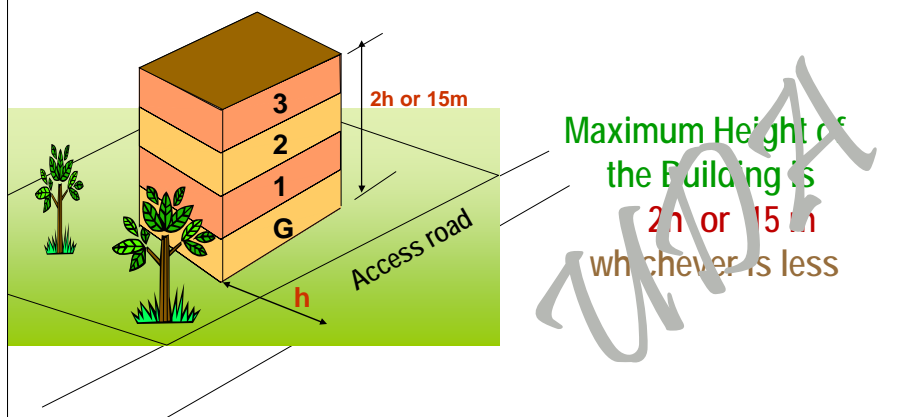
(High rise)

G + 4 & above

Building Heights

Low rise Buildings

Regulation 18 (2)



Regulation 8 (1), 8(2) & 8(3)

For the purpose of these regulations, buildings shall be categorized follows.

- (1) Category A, means any building consisting of five or more floors including the ground floor or any building the height of which exceeds 15m above the adjoining street.
- (2) Category B, means any building not being a high rise building which consist of;
 - (i) A basement, roofs, foundations, beams & other related parts of the buildings.
 - (ii) 2 or more floors including the ground floor where a wall or column is situated on the property boundary.
 - (iii) Pile or raft foundation.
 - (iv) Roof span exceeding 10 m.
 - (v) A place of public assembly or a public building
 - (vi) A building, which is wind sensitive such as ware house & factories.
 - (vii) Any other type of building not covered under category A & C.
- (3) Category C, (i) includes any residential building which does not exceed 300sq.m. in extent, which is not covered under category B(ii) and (ii) Includes any building other than a residential building which does not exceed 100sq.m. in extent which is not covered under category B (ii).

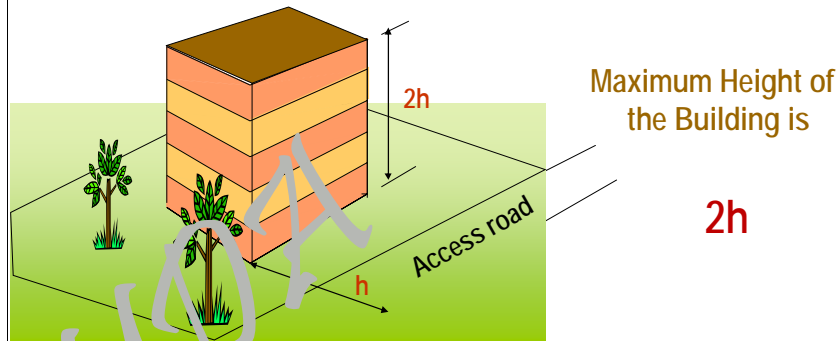
Regulation 18 (2)

The max. height of a building in other cases not being a high rise building shall not exceed 15 m or twice the distance between any storey of a building and the further edge of the abutting street whichever is less.

Building Heights

High rise Buildings

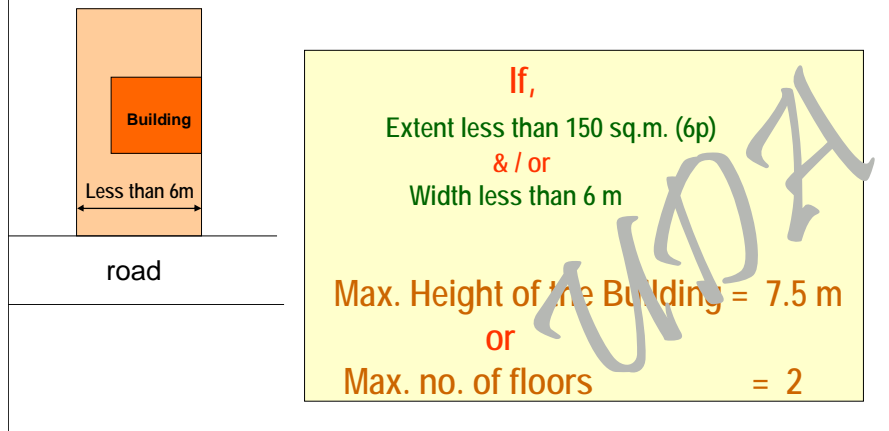
Regulation 29 (1)



Building Heights

Existing Lot

Regulation 18 (1)



Regulation 29 (1)

The maximum height of the building shall not exceed twice the horizontal distance between any storey of the building and the farther edge of the abutting street.

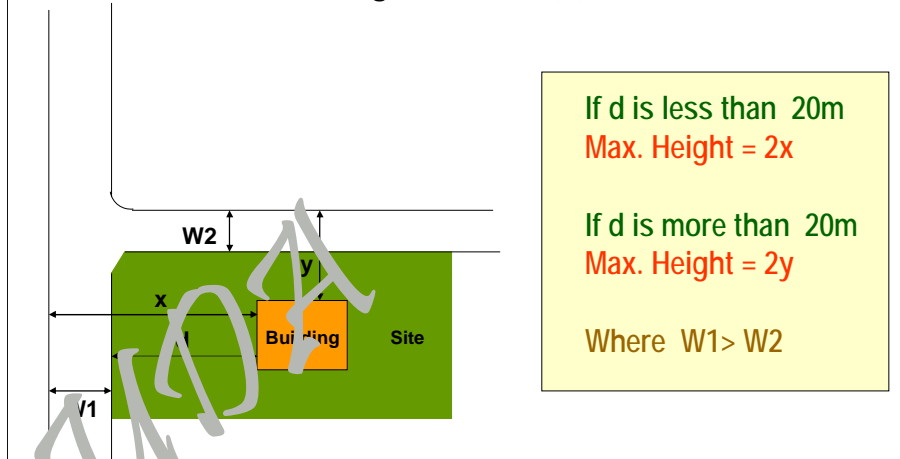
Regulation 18 (1)

The maximum height of a building on an existing lot which is six (6.0) metres or less in width and or has less than one hundred and fifty (150) square metres in extent shall not exceed seven and a half (7.5) metres or two floors unless the authority directs otherwise.

Building Heights

Site Situated in a Corner

Regulation 18 (3)



Regulation 18(3)

If the lot is situated in a corner, the height of the building shall be regulated by the wider of such streets so far as it abuts or will abut on the narrower street to a depth of 20m from the wider street.

Chapter 6

Open Space around the Building

- **Rear Space**
- **Side Space**

Rear Space

Regulation 26(2) & 26(4)

The diagram shows a yellow building on a plot. A vertical double-headed arrow labeled 'r' indicates the rear space behind the building. Two horizontal double-headed arrows labeled 'W1' and 'W2' indicate the widths of two different streets. 'W1' is the width of the street at the bottom, and 'W2' is the width of the street to the right. The building is closer to the 'W2' street.

What is Rear space?

The Space farther from any street

If more than one access, the rear space shall be the space which is farthest from the widest street.

Rear Space = r
(where W1 is more than W2)

For irregular shaped blocks, authority may decide where appropriate.

Rear Space

Regulation 26(1)

The diagram shows a 3D perspective of a building with a ground floor labeled 'G' and a first floor labeled '1'. A green area behind the building is labeled '2.25m'. An 'Access Road' is shown in the foreground. The building is situated on a plot with some trees.

Rear Space = 2.25m

- Maximum 2 Storeys

Regulation 26 (2)

For the purpose of this regulation the rear of the building shall be deemed to be the face which is further from any street on which the building is situated; Provided that where the building is situated on more than one street, the rear of the building, unless the Authority otherwise directs shall be deemed to be the face which is farthest from the widest of such streets.

Regulation 26 (4)

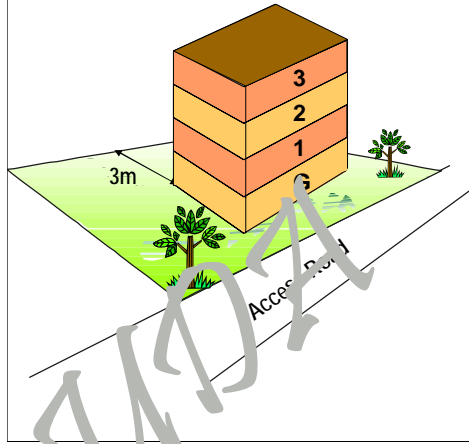
In sites of irregular shapes where it is impracticable to provide an open space to the entire width of the building in the rear, the authority may direct that the open space in the rear shall be left as it deems appropriate having regard to the circumstances of the case.

Regulation 26 (1)

There shall be in the rear of every building and belonging exclusively to it an open space of not less than three (3) metres extending along the entire width of the building unless the rear of the building abuts on to a public street not less than six (6) metres in width Provided that where the building consists of a ground floor and the first floor only and no further storeys are proposed to be added the width of such rear open space may be reduced to 2.25 metres.

Rear Space

Regulation 26(1)



Rear Space = 3m

- Maximum 4 Storeys

G + 2

G + 3

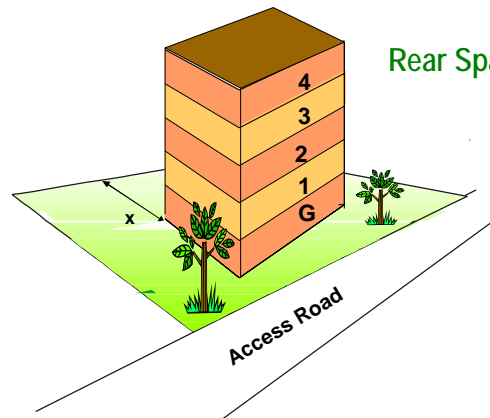
or

Building Height less than 15m

Rear Space

High Rise Buildings

Regulation 30(2)



Rear Space (x) = $\frac{\text{Height of the Building}}{4}$

for

G + 4 or More

Regulation 26 (1)

There shall be in the rear of every building and belonging exclusively to it an open space of not less than three (3) metres extending along the entire width of the building unless the rear of the building abuts on to a public street not less than six (6) metres in width.

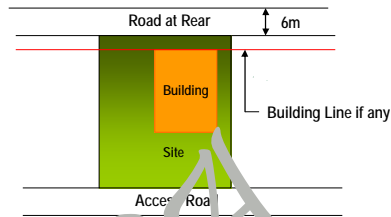
Provided that where the building consists of a ground floor and the first floor only and no further storeys are proposed to be added the width of such rear open space may be reduced to 2.25 metres.

Regulation 30 (2)

There shall be in the rear of every building an open space of at least one quarter the height of the building extending along the entire width of the building.

Rear Space

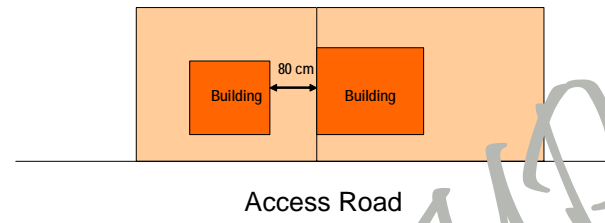
Regulation 26(1)



Rear Space is not required, if the rear of the Site abuts on to a Public street not less than 6m in width

Side Space Low rise Buildings

Regulation 26 (5)



If a space is provided for maintenance of the building, the Space should be Min. 80 cm

Regulation 26 (1)

There shall be in the rear of every building and belonging exclusively to it an open space of not less than three (3) metres extending along the entire width of the building unless the rear of the building abuts on to a public street not less than six (6) metres in width.

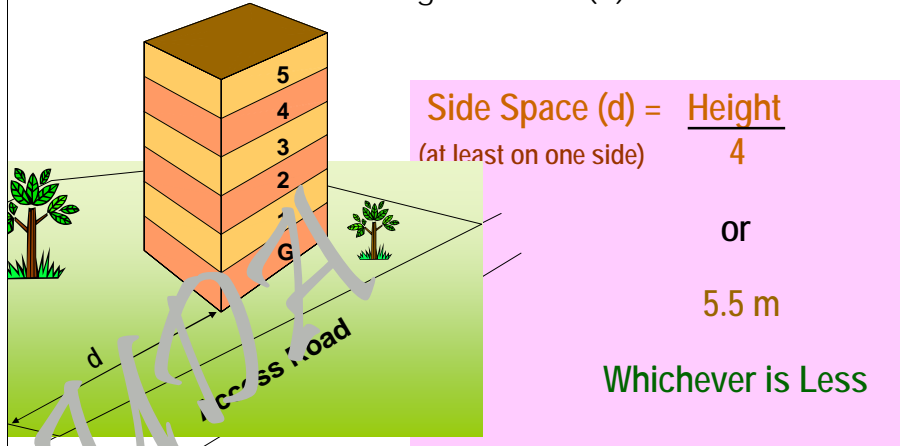
Regulation 26 (5)

In the case of buildings where an open space is intended to be provided on the site for purpose of access, maintenance of the building in separating it from adjoining properties, such open space shall in no case be less than 80 centimetres in width.

Side Space

High rise Buildings

Regulation 30(1)



Regulation 30 (1)

There shall be in the least on one side of the building, not being the front or rear side, between the building and the boundary of the site a minimum open space of at least one quarter of the height of the building or 5.5 metres whichever is less.

Chapter 7

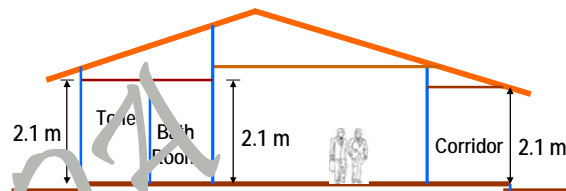
Regulations Inside the Buildings

- **Internal Heights**
- **Light & Ventilation**
- **Floor Area & Internal Dimensions**
- **Staircase**

Internal Heights (Minimum)

Toilets, Bathrooms & Corridors

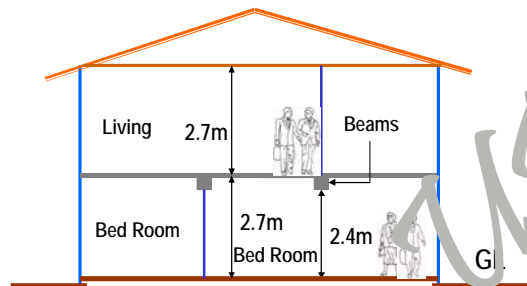
Regulation 42 (1)



Internal Heights (Minimum)

Rooms other than Toilets, Bathrooms & Corridors

Regulation 42 (2)



Regulation 42(1)

The minimum height of rooms shall be for toilets, bath rooms and corridors, not less than 2.1 metres.

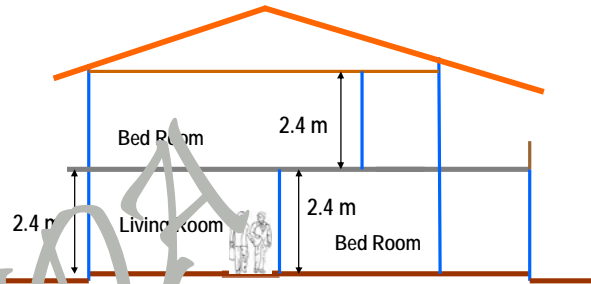
Regulation 42(2)

For all other rooms in any building, not less than 2.7 metres, provided that beams, trusses and similar supporting structures extending beyond the level of the roof shall not be such as to reduce this height below 2.4 metres at any point.

Internal Heights (Minimum)

Air Conditioned Rooms

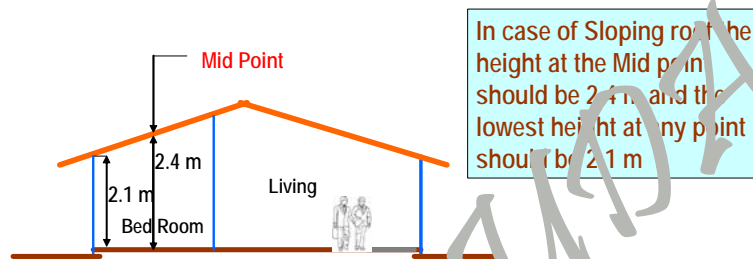
Regulation 42 (3)



Internal Heights (Minimum)

Sloping Roof

Regulation 43



Regulation 42(3)

In the case of rooms in a building that is Air Conditioned through a central air conditioning system 2.4 metres.

Regulation 43

In the case of rooms with sloping roofs the heights shall not be less than those mentioned in regulation 42 at the mid point of the slope of the roof and in no part of the room shall the height be less than 2.1m.

Natural Light & Ventilation

Sources

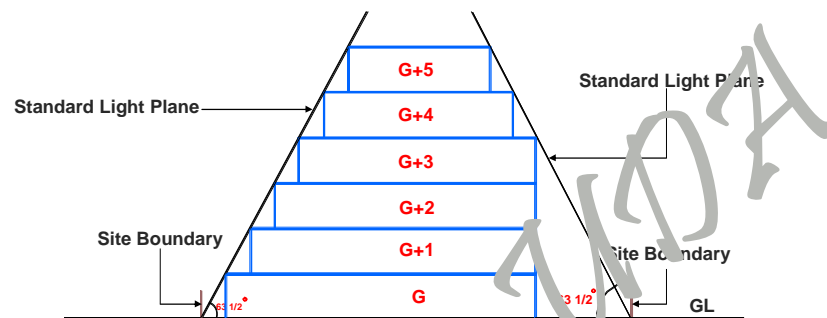
Regulation 45 (1) & 45 (2)

- A Public road with right of way.
- A Courtyard or Open Space within the site.

Natural Light & Ventilation

Standard Light Plane

Regulation 51 (1)



Regulation 45(1) & 45(2)

Every room in a building shall be provided with natural light and ventilation by means of windows, doors or any other approved openings. Every such room of a building to be lighted and ventilated shall have windows and opening through which natural light and ventilation can be obtained, so located that they face and open upon,

- (1) A public street or a street on which the owner or the building has a right of way.
- (2) A courtyard or open space located in the building site.

Regulation 51 (1)

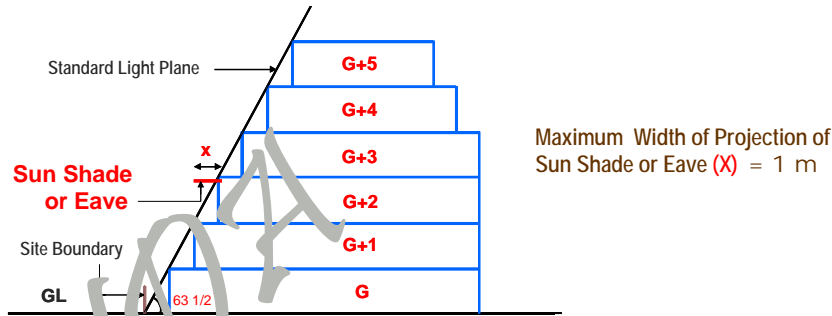
Every window of other opening except for toilets and bathrooms must open to a standard light plane and the whole space above such plane must be open to the sky and free from any obstruction other than eaves or sunshades projecting to an extent of not more than 1.0 metre. (For the purpose of this regulation "standard light plane" means a plane drawn upwards and outwards from the exterior face of the building at the lowest floor level of the room and not being a basement floor for car parking or for a air conditioning plant or other service machinery only at an angle of 63 1/2 degrees to the horizontal and not impinging on any building wall or other obstruction.)

In any case in which there is any obstruction other than an authorized obstruction over any plane so drawn, the plane may be drawn from the line of intersection of the plane of the floor level of the room and the perpendicular plane of the extreme edge of the obstruction.

Natural Light & Ventilation

Structures Allowed to Intersect the Standard Light Plane

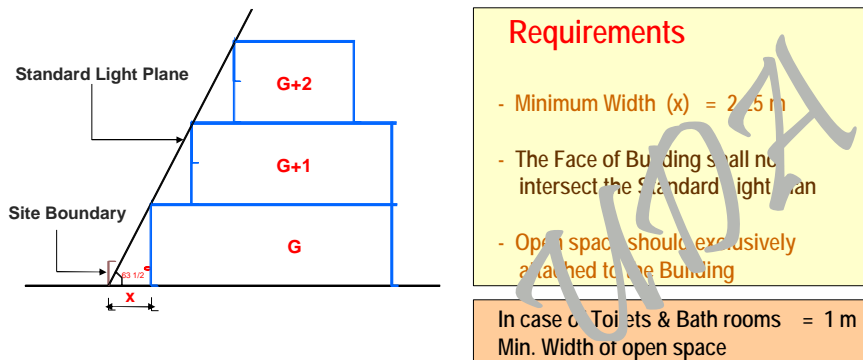
Regulation 51 (1)



Natural Light & Ventilation

External Open Space for Buildings

Regulation 51 (2) & (3)



Regulation 51 (1) (Relevant part only)

Every window or other opening except for toilets and bathrooms must open to a standard light plane and the whole space above such plane must be open to the sky and free from any obstruction other than eaves or sunshades projecting to an extent of not more than 1.0 metre.

Regulation 51 (2)

Where a window or other opening is situated on the side or interior face of a building, the external open space shall;

- be of such width that no portion of such face shall intersect any of a series of imaginary lines drawn across the open space from the limit opposite to such face at the level of its lowest floor level not being a basement floor for car parking or for air conditioning plant or other service machinery only, at an angle of $63\frac{1}{2}$ degrees to the horizontal;
- not be less than 2.25 metres; and
- be exclusively attached to the building or be dedicated to public use.

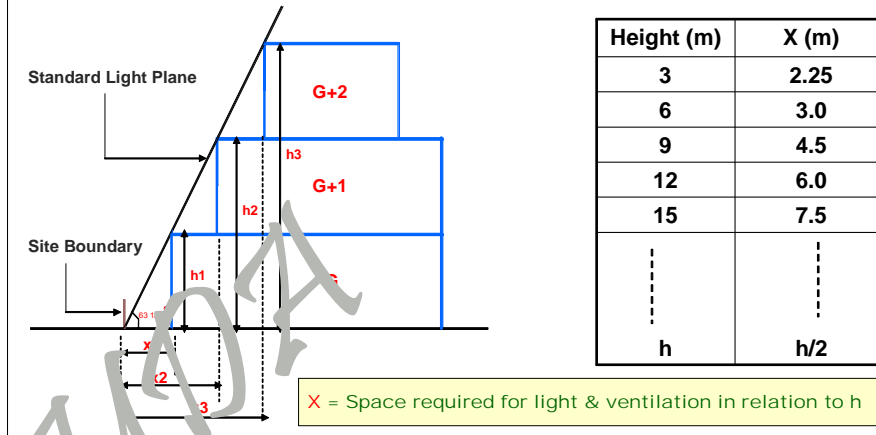
Regulation 51 (3)

In case of toilets and bath rooms the standard light plane may be relaxed by the Authority provided a minimum unobstructed width of open space of one metre is available within the premises abutting the opening.

Natural Light & Ventilation

External Open Space for Buildings

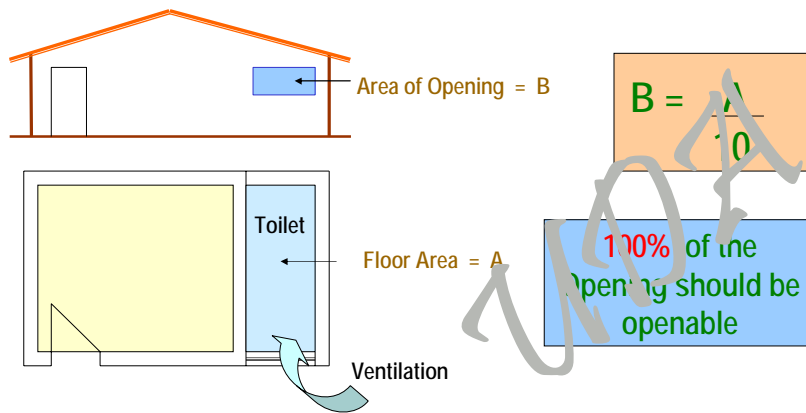
Regulation 51(2) & 51(3)



Natural Light & Ventilation

Bath room & Toilets

Regulation 48 (1) & Form G of Schedule III



Regulation 51 (2)

Where a window or other opening is situated on the side or interior face of a building, the external open space shall;

- be of such width that no portion of such face shall intersect any of a series of imaginary lines drawn across the open space from the limit opposite to such face at the level of its lowest floor level not being a basement floor for car parking or for air conditioning plant or other service machinery only, at an angle of $63 \frac{1}{2}$ degrees to the horizontal;
- not be less than 2.25 metres; and
- be exclusively attached to the building or be dedicated to public use.

Regulation 48 (1)

Every room in any building where the aggregate area of openings is short of the specifications contained in Form G of Schedule III shall be provided with natural light and ventilation by means of one or more sources.

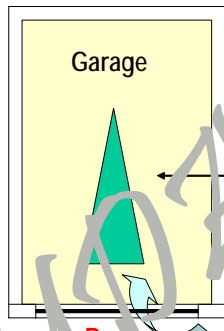
Form G of Schedule III - Aggregate Unobstructed Area of Openings (Relevant Part only)

Category	Aggregate unobstructed area of opening for natural lighting and Ventilation	% of area open able
1. Bathroom and toilet	1/10	100

Natural Light & Ventilation

Vehicle Parking Garage

Regulation 48 (1), 48 (3) & Form G of Schedule III



Area of Opening = B

$$B = \frac{A}{10}$$

Floor Area = A

50% of the Opening should be openable

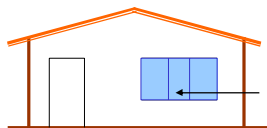
If more than 5 vehicles, shall have at least 50% of the area of two or more sides of the room as openings to allow for cross ventilation

WDA

Natural Light & Ventilation

Factories & Warehouses

Regulation 48 (1) & Form G of Schedule III



Window Area = B

$$B = \frac{A}{10}$$

Floor Area = A

50% of the Window should be openable

WDA

Regulation 48 (1)

Every room in any building where the aggregate area of openings is short of the specifications contained in Form G of Schedule III shall be provided with natural light and ventilation by means of one or more sources.

Regulation 48 (3)

Any room used as a parking garage for more than 5 motor vehicles shall have at least 50 percent of the area of two or more sides of the room as openings to allow for cross ventilation.

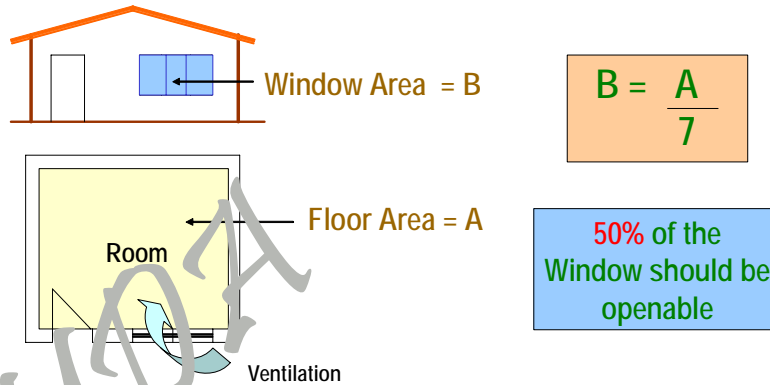
Form G of Schedule III - Aggregate Unobstructed Area of Openings

Category	Aggregate unobstructed area of opening for natural lighting and Ventilation	% of area open able
1. Bathroom and toilet	1/10	100
2. Vehicle Parking garage	1/10	50
3. Factories and warehouses	1/10	50
4. All other rooms	1/7	50

Natural Light & Ventilation

All other Rooms

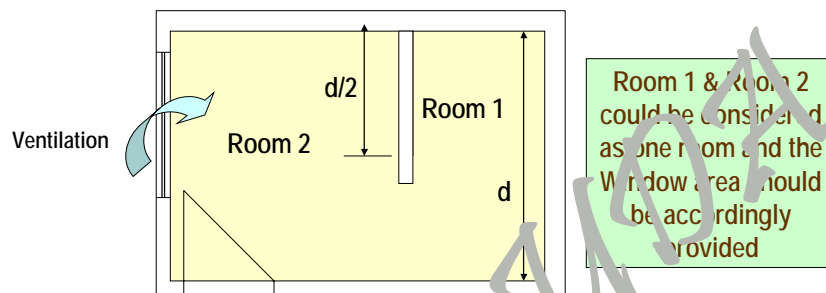
Regulation 48 (1) & Form G of Schedule III



Natural Light & Ventilation

Special Provision

Regulation 49



Regulation 48 (1)

Every room in any building where the aggregate area of openings is short of the specifications contained in Form G of Schedule III shall be provided with natural light and ventilation by means of one or more sources.

Form G of Schedule III - Aggregate Unobstructed Area of Openings

Category	Aggregate unobstructed area of opening for natural lighting and Ventilation	% of area open able
1. Bathroom and toilet	1/10	100
2. Vehicle Parking garage	1/10	50
3. Factories and warehouses	1/10	50
4. All other rooms	1/7	50

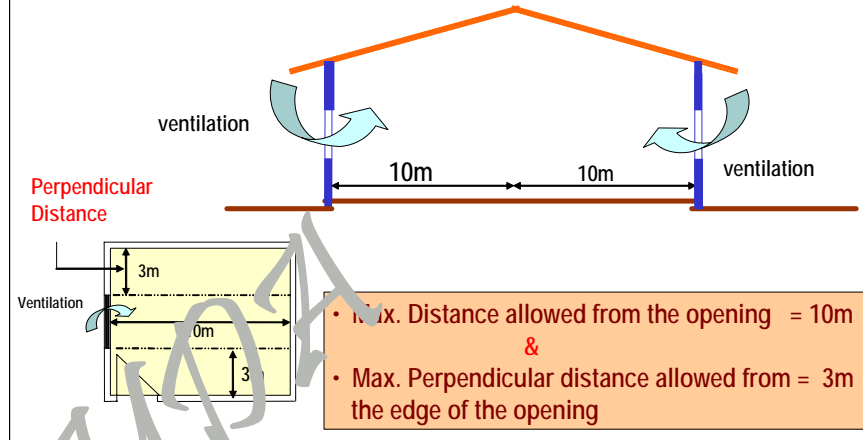
Regulation 49

For the purpose of determining light and ventilation requirements, any room may be considered as a portion of an adjoining room when one half of the area of the common wall is open and unobstructed.

Natural Light & Ventilation

Buildings other than Factory & Warehouses

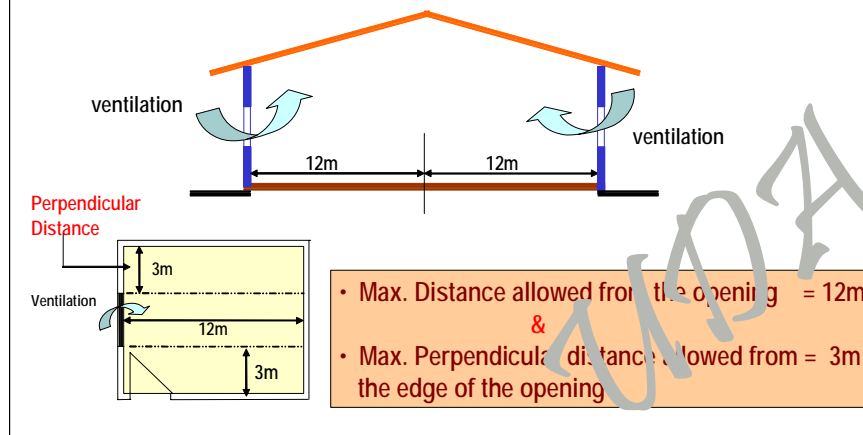
Regulation 46 (1)



Natural Light & Ventilation

Factory & Warehouses

Regulation 46 (2)



Regulation 46 (1)

In the case of rooms other than warehouses and factories no part of the room served by such lighting and ventilation openings shall be more than 10 metres away from such opening in a direction perpendicular to the plane of the opening. Further, no part of such room shall be 3 metres away from edge of the opening in a direction parallel to the plane of the opening.

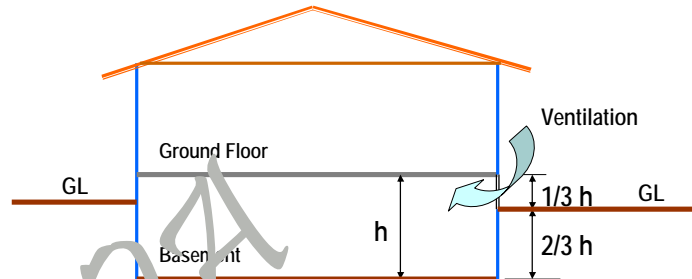
Regulation 46 (2)

In case of warehouses and factories no part of the room served by such lighting and ventilation openings shall be more than 12 metres away from such opening in a direction perpendicular to the plane of the opening. Further, no part of such room shall be 3 metres away from the edge of the opening in a direction parallel to the plane of the opening.

Natural Light & Ventilation

Basement Rooms

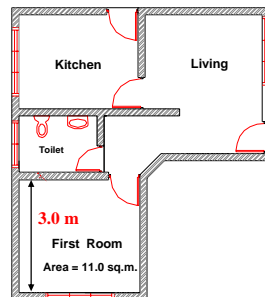
Regulation 52



Floor Area & Internal Dimensions

Habitable Rooms in Dwelling Units

Regulation 39 & Form I of Schedule III



If there are only one room in a Dwelling unit

Minimum width = 3.0 m
Minimum Area = 11 sq.m.

Regulation 52

When any room is located in a basement and is to be naturally lighted and ventilated such room shall have at least one third of the height of its external wall above the outside ground level and shall have all its required sources of natural light and ventilation above the outside ground level.

Regulation 39

The internal clear dimensions of every room in a building other than the rooms specified under regulation 40 shall not be less than the minimum specified in Form I of Schedule III

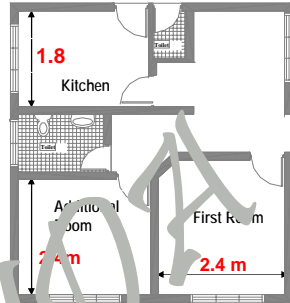
Form I of Schedule III - Internal Clear Dimension of Rooms (Relevant part only)

Room	Minimum Extent (sq. m.)	Minimum Length (m)	Minimum Width (m)
(i) Where there is only one room in dwelling unit	11.0	-	3.0
(ii) Where there are more than one room in a dwelling unit			
(a) First Room	8.5	-	2.4
(b) Additional Room	7.5	-	2.4

Floor Area & Internal Dimensions

Habitable Room in Dwelling Units

Regulation 39 & Form I of Schedule III



If there are more than one room in a Dwelling unit

First Room

Minimum Width = 2.4 m

Minimum Area = 8.5 sq.m.

Additional Rooms

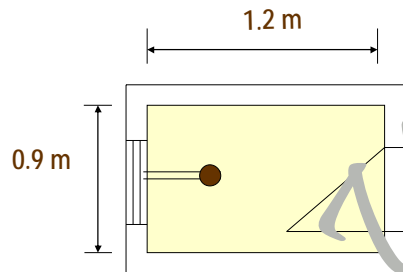
Minimum Width = 2.4 m

Minimum Area = 7.5 sq.m.

Floor Area & Internal Dimensions

Bath

Regulation 40 & Form J of Schedule III



Regulation 39

The internal clear dimensions of every room in a building other than the rooms specified under regulation 40 shall not be less than the minimum specified in Form I of Schedule III.

Form I of Schedule III - Internal Clear Dimensions of Rooms (Relevant part only)

Room	Minimum Extent (sq. m.)	Minimum Length (m)	Minimum Width (m)
(ii) Where there are more than one room in a dwelling unit			
(a) First Room	8.5	-	2.4
(b) Additional Room	7.5	-	2.4
(iv) (a) Kitchen	5.5	-	1.8

Regulation 40

The internal clear dimensions of bath rooms & toilets shall not be less than the minimum specified in Form J of Schedule III.

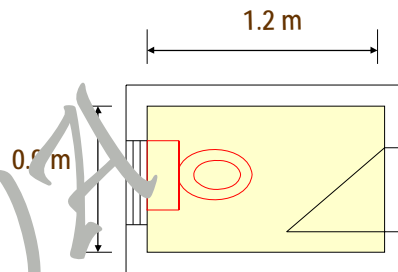
Form J of Schedule III - Internal Clear Dimensions of Bath rooms & Toilets

Room	Minimum Width (m)	Minimum Length (m)
Bath	0.9	1.2
Toilet	0.9	1.2
Combined Bath and Toilet	0.9	1.7

Floor Area & Internal Dimensions

Toilet

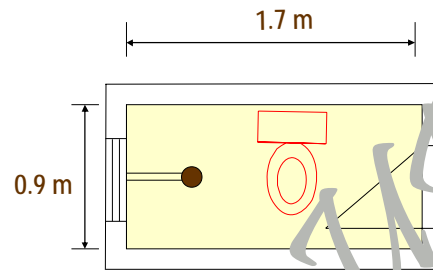
Regulation 40 & Form J of Schedule III



Floor Area & Internal Dimensions

Combined Toilet & Bath

Regulation 40 & Form J of Schedule III



Regulation 40

The internal clear dimensions of bath rooms & toilets shall not be less than the minimum specified in Form J of Schedule III.

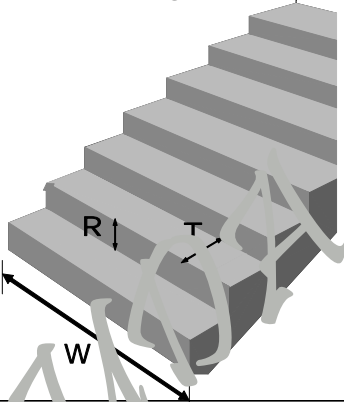
Form J of Schedule III - Internal Clear Dimensions of Bath rooms & Toilets

Room	Minimum Width (m)	Minimum Length (m)
Bath	0.9	1.2
Toilet	0.9	1.2
Combined Bath and Toilet	0.9	1.7

Staircase

Internal Stairs Serving one Upper Floor only

Regulation 44 (1) & Form K of Schedule III

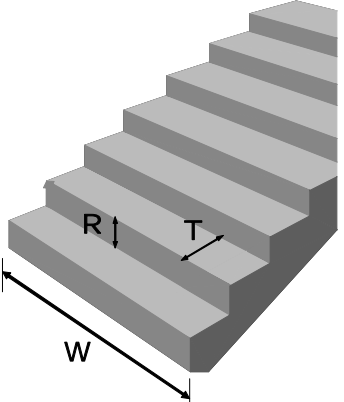


- Width (W) = 75 cm
- Min. Head Room = 200 cm
- Riser (R) = 19.0 cm
- Tread (T) = 22.5 cm

Staircase

Stairs in Public Buildings

Regulation 44 (1) & Form K of Schedule III



- Width (W) = 105 cm
- Min. Head Room = 200 cm
- Riser (R) = 17.5 cm
- Tread (T) = 22.5 cm

Regulation 44 (1)

The minimum width of stairs and the minimum dimensions of treads and risers shall be as specified in Form K of Schedule III. In the case of circular or geometric stairs the widths of the treads measuring at the middle shall not be less than the widths specified in Form K of Schedule III. Riser, height & tread width shall be constant in any flight of stairs from storey to storey.

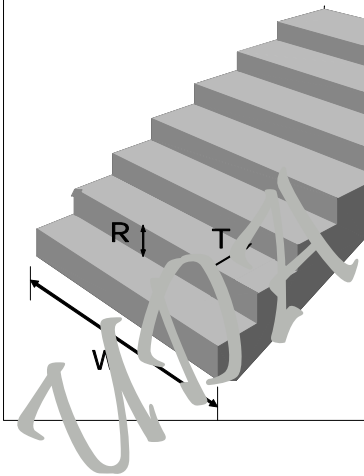
Form K of Schedule III – Staircases

Type	Width of Stairs (Centimeters)	Minimum Head Room (Meters)	Riser (Centimeters)	Tread (Centimeters)
(a) Internal stairs serving one upper floor only	75	2.0	19	22.5
(b) Stairs in building used as place of public assembly and public buildings	105	2.1	17.5	22.5
(c) All other types	90	2.1	17.5	22.5

Staircase

Stairs in All other Type Buildings

Regulation 44 (1) & Form K of Schedule III

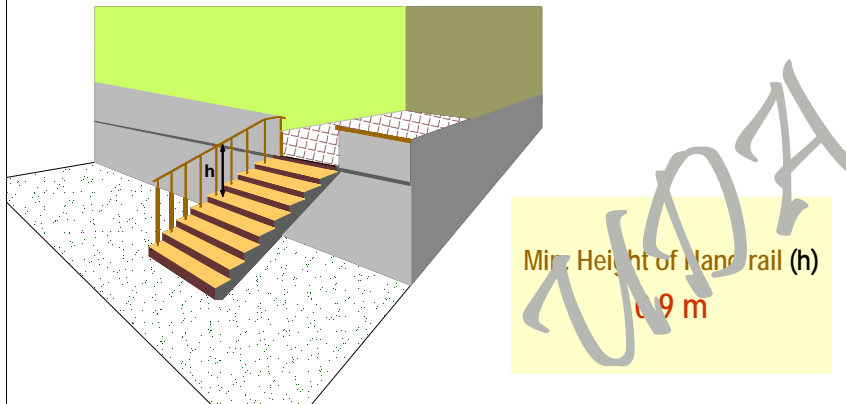


- Width (W) = 90 cm
- Min. Head Room = 210 cm
- Riser (R) = 17.5 cm
- Tread (T) = 22.5 cm

Staircase

Hand rail

Regulation 44 (2) (b)



Regulation 44 (1)

The minimum width of stairs and the minimum dimensions of treads and risers shall be as specified in Form K of Schedule III. In the case of circular or geometric stairs the widths of the treads measuring at the middle shall not be less than the widths specified in Form K of Schedule III. Riser, height & tread width shall be constant in any flight of stairs from storey to storey.

Form K of Schedule III – Staircases (Relevant part only)

Type	Width of Stairs (Centimeters)	Minimum Head Room(m)	Riser (Centimeters)	Tread (Centimeters)
(b) Stairs in building used as place of public assembly and public buildings	105	2.1	17.5	22.5
(c) All other types	90	2.1	17.5	22.5

Regulation 44 (2) b

Every Staircase, stair landing, balcony or verandah shall be protected on any side overlooking a courtyard, void or external air space by either a hand rail, balustrade or parapet which shall have a height of not less than 0.9 m and shall be offer suitable design & type of construction to prevent any person from falling over the side of such staircase, staircase landing, balcony or verandah.

For Further Details :

Please Refer

Planning & Building Regulations
of Urban Development Authority

Published in the Gazette of the
Democratic Socialist Republic of
Sri Lanka

Extraordinary, No. 392/9 of
10th March, 1986

Abbreviations

Dia.	-	Diameter
FAR	-	Floor Area Ratio
G	-	Ground Floor
G+1	-	Ground & First Floor
G+2	-	Ground, First & Second Floor
GF	-	Ground Floor
GL	-	Ground Level
m	-	Metre
Max.	-	Maximum
Min.	-	Minimum
No.	-	Number
Res.	-	Residential
sq.m.	-	square metre
Vent.	-	Ventilation
WC	-	Water Closet

Annexures

- **Annexure I**
 - Form A - Access to Residential Units
 - Form B - Access to Non Residential Units
- **Annexure II**
 - Form C - Specifications as to Lots
 - Form E - Maximum Lot Coverage
- **Annexure III**
 - Form F - Width of Aisles of Parking Stalls
 - Form G - Aggregate Unobstructed Area of Opening
- **Annexure IV**
 - Form I - Internal Clear Dimensions of Rooms
 - Form J - Internal Clear Dimensions of Bathrooms & Toilets
- **Annexure V**
 - Form K - Staircases

Annexure I

Form A of Schedule III

Access to Residential Units

Number of Dwelling Unit Served	Minimum Width (m)	Maximum Length (m)
Under 4 dwelling unit	3.0	50
More than 4 but not more than 8 dwelling units	4.5	100
More than 8 but not more than 20 dwelling units	6.0	-
More than 20 dwelling units	9.0	-

Form B of Schedule III

Access to Non Residential Buildings

Maximum Extent of Land Served (sq. m.)	Maximum FAR on each site	Minimum Width of Street (m)	Maximum Length of Street (m)
500 Where the street serves more than 1 lot or site but not more than four lots	1.5	6.0	50
2500 Where the street serves only one lot or sites	1.5	6.0	150

Annexure II

Form C of Schedule III

Specification as to Lots

Character of Building	Minimum Site Area (Sq. m)	Minimum width of Site (m)
All building except those included below	150	6
Public Assembly Buildings and Public Buildings	300	12

Form E of Schedule III

Maximum Lot Coverage

Character of Building	Maximum Lot Coverage (%)	Minimum Open Space at the ground level (%)
Dwelling units, Hotels, Hostels, Guest Houses and Public Assembly Buildings	66 ½	33 ½
Offices, Shops, Other Commercial and Industrial Buildings	80	20

Annexure III

Form F of Schedule III

Width of Aisles of Parking Stalls

Parking Angle	One Way Traffic		Two Way Traffic
	Bays on one Side (m)	Bays on Two Side (m)	
Parallel	3.6	3.6	6.0
30 deg.	3.6	4.2	6.3
45 deg.	4.2	4.8	6.3
60 deg.	4.8	4.8	6.6
90 deg.	6.0	6.3	7.2

Form G of Schedule III

Aggregate Unobstructed Area of Openings

Category	Aggregate unobstructed area of opening for natural lighting and Ventilation	% of area open able
1. Bathroom and toilet	1/10	100
2. Vehicle Parking garage	1/10	50
3. Factories and warehouses	1/10	50
4. All other rooms	1/7	50

Annexure IV

Form I of Schedule III

Internal Clear Dimension of Rooms

Room	Minimum Extent (sq. m.)	Minimum Length (m)	Minimum Width (m)
(i) Where there is only one room in dwelling unit	11.0	-	3.0
(ii) Where there are more than one room in a dwelling unit			
(b) First Room	8.5	-	2.4
(b) Additional Room	7.5	-	2.4
(iii) Rooms in non residential buildings	7.5	-	2.4
(iv) (a) Kitchen	5.5	-	1.8
	-	0.9	0.4
(b) Kitchen alcove			

Form J of Schedule III

Internal Clear Dimension of Bath rooms & Toilets

Room	Minimum Width (m)	Minimum Length (m)
Bath	0.9	1.2
Toilet	0.9	1.2
Combined Bath and Toilet	0.9	1.7

Annexure V

Form K of Schedule III

Staircases

Type	Width of Stairs (cm)	Minimum Head Room (m)	Riser (cm)	Tread (cm)
(a) Internal stairs serving one upper floor only	75	2.0	19	22.5
(b) Stairs in building used as place of public assembly and public buildings	105	2.1	17.5	22.5
(c) All other rooms	90	2.1	17.5	22.5